

Staff Report

Report To: City Council
Report From: Sabine Robart, Intermediate Planner
Meeting Date: August 26, 2019
Report Code: CS-19-107
Subject: Recommendation Report Respecting Zoning By-law
Amendment No. 28 and Site Plan Approval ST2018-016
1200 16th Avenue East (API Hotel)

Recommendation:

1. THAT in consideration of Staff Report CS-19-107 from Sabine Robart, Intermediate Planner respecting Zoning By-law Amendment No. 28, City Council:
 - a) Resolves that in consideration of the staff report and recommendations and written and oral submissions made at the public meeting held on April 1, 2019 and as further described in the minutes of that date, Council finds that the applications are consistent with the Provincial Policy Statement and the goals and objectives and intent of the City Official Plan; and
 - b) Approves Zoning By-law Amendment No. 28 to the City's Zoning By-law 2010-078 based on the draft provisions outlined in Sec. D1 of Staff Report CS-19-107; and
 - c) Directs Staff to bring forward a by-law and authorizes the Mayor and Clerk to enact a by-law to adopt Amendment No. 28 to the City's Zoning By-law No. 2010-078 and give notice in accordance with Sec. 34 of the Planning Act; and
 - d) Directs Staff to bring forward a by-law and authorizes the Mayor and Clerk to enact a by-law for the removal of the Holding ("H") provision from the subject lands after the payment of the applicable Capital Cost Recovery Charge prorated to 2019 rates (\$43,096.49).
2. THAT in consideration of Staff Report CS-19-107 from Sabine Robart, Intermediate Planner respecting Site Plan Approval Application ST2018-016:

- a) City Council approve the site plan Saplys Architects Incorporated dated July 08, 2019, subject to the conditions outlined in Appendix 'F'; and,
- b) City Council pass a by-law authorizing the Mayor and Clerk to execute a Site Plan Agreement for 1200 16th Avenue East (API Hotel).

Strategic Initiative:

- Retain and grow existing local businesses and business opportunities
- Increase the City's tax assessment base

Background & Proposal:

An application for a Zoning By-law Amendment (ZBA 28) and Site Plan Approval (ST2018-016) have been submitted by Legacy Hospitality Management & Development Inc. c/o API Development Consultants (API).

Property Description

The subject lands are described in the following chart, for location context and surrounding land uses please see the Orthophoto in Schedule 'A'. For the Planning Policy context please see the Planning Map in Schedule 'B'.

Property Information (Schedule 'A')	
Civic Address	1200 16 th Avenue East
Roll No	425904006013000
Legal Description	Park Lot 5, Range 5 EGR Park (RP 16R10545, Part 1)
Site Frontage	Approx. 36 m (118 ft.)
Site Depth	Approx. 122 m (400 ft.)
Site Area	8,064 m ² (86, 800 ft ²)
Surrounding Land Uses	North: Vacant (zoned for Retail Commercial uses and Long Term Care Facility) East: Vacant (proposed Andpet Residential Subdivision) South: Commercial (Sunlife Plaza) & Institutional (Georgian College & East Ridge Community School) West: Institutional & Commercial (Seasons Retirement Home & Canadian Tire)
Existing Structures	Vacant

Property Information (Schedule 'A')	
Road Access/Frontage	16 th Avenue East (Arterial Road)
Available Servicing	
Potable Water	150 mm Ø service lateral connect to 300 mm Ø watermain located in the 16 th Avenue East road allowance
Wastewater	200 mm Ø service lateral connected to the 250 mm Ø collector on 16 th Avenue East wastewater system
Stormwater	On-site stormwater management system with an outlet to 16 th Avenue East storm sewer
Planning Policy Framework (Schedule 'B')	
County of Grey Official Plan	Settlement Area
City of Owen Sound Official Plan, 2006	Schedule 'A' - East City Commercial Schedule 'A2' - East City Commercial within the Sydenham Heights Planning Area – Phase 1
City of Owen Sound Zoning By-law 2010-078, as amended	Retail Commercial (C2) Special Provision 14.79 Holding Provision (H)

The Proposal

The application is proposing the construction of six-storey 100-room hotel, a one-storey commercial building, and a 131-space shared surface parking lot. The effect of the Zoning By-Law Amendment is to modify the site specific zone regulations to allow for a number of reduced setback provisions and permit an increased height for the hotel. The amendment would also provide for a reduced number of required parking spaces on the site. A Holding Provision is also requested to be removed from the lands.

The lands are irregularly shaped (L-shape) and are currently vacant, with relatively level, scrubby/treed land across the property. The long portion of the L-shape runs east / west and the short portion of the L-shape runs north/south. As illustrated in the Site Plan (attached as Schedule 'C'), from east to west, the project proposal includes:

- Construction of a one-storey commercial building (Building B)

- The building is proposed to contain six retail type commercial units with individual entrances.
- A row of parking spaces adjacent to the building along the south façade including one barrier free parking space.
- A concrete sidewalk is located along the front of the building and connects to existing sidewalk along 16th Avenue East and the hotel to the west.
- Construction of a six-storey hotel (Building A).
 - The hotel is proposed to contain 100 rooms, meeting facilities (four rooms) and an outdoor patio.
 - The main entrance to the hotel will be located along the east side of the hotel along with a row of parking space including barrier free spaces.
 - A row of parking spaces including barrier free spaces will be located along the west side of the hotel.
- An outdoor waste storage area and loading space are located on the west side of the commercial building.
- The hotel and commercial building are each proposed to have one loading space each.
- A row of parking spaces is located along the boundary of the property.
- Installation of landscaping, amenities and appurtenances to serve the proposed use.
 - Fencing is proposed along a portion of the perimeter of the property including a wooden board fence on the west boundary and a retaining wall and decorative metal fence on the north.
 - A grassed buffer strip is proposed along the southern property boundary.
 - Plantings are proposed at the corners of the property and along the eastern street frontage and at strategic locations along the hotel façade.
 - The proposed plantings include deciduous and coniferous trees and shrubs.

Submission & Process Details

As part of a complete application, the applicant has submitted the following materials for consideration:

Submission Item Title	Submission Item Detail
Master Site Plan A-100– Hotel & Commercial Building	Prepared by Saplys Architects Incorporated, dated July 8, 2019
Landscape Plan (L100) & Landscape Details (L200)	Prepared by Strybos Barron King Landscape Architecture dated June 14, 2019
Elevation – Commercial Building (A-301)	Prepared by Saplys Architects Incorporated, dated July 8, 2019
Elevations – Hotel (A200, A201, A202, A301, A302 & A303)	Prepared by Saplys Architects Incorporated, dated December 10, 2018
Functional Servicing & Stormwater Management Report	Prepared by S. Llewellyn & Associates Ltd, dated November 2019, revised July 2019
Grading and Servicing (C101, C102, C103, C104)	Prepared by S. Llewellyn & Associates Ltd, dated July 2, 2019
Planning Justification Report and Urban Design Analysis	Prepared by MB1 Development Consulting, dated July 2019
Site Lighting Photometric Analysis Plan (ES101 & ES102)	Prepared by Quasar Consulting Group, dated June 14, 2019
Parking Letter	Prepared by Trans-Plan Transportation Engineering dated June 13, 2019
Environmental Noise Assessment 16 th Avenue East and 10 th Street East	Prepared by Valcoustics Canada Ltd, dated February 19, 2019
Traffic Addendum Letter – SPA – 2 nd Submission	Prepared by Trans-Plan Transportation Engineering, dated February 21, 2019
Grey Bruce Health Services Hospital Heliport Flight Path Study	Prepared by AVAI NG Airport Consultants, dated December 13, 2018
Traffic Impact & Parking Study	Prepared by Trans-Plan Transportation Engineering, dated December 2018

Submission Item Title	Submission Item Detail
Survey	Prepared by Hewett and Milne Ltd, dated December 11, 2014

The applicant engaged the City in the Pre-consultation process in April 2018. Subsequently, the process relating to the formal application as proceeded as follows:

Date	Step
December 19, 2018	Submission of Partial Application and Fees
January 16, 2019	Submission of additional application documents (survey and letter of authorization).
January 17, 2019	Notice of Complete Application to applicant
January 23, 2019	Request for City Staff and Agency comments sent
January 29, 2019	Notice of Complete Application given to prescribed persons via newspaper and a courtesy notice mailed to landowners within 120 m of the subject property
February 7, 2019	Agency comment sent to applicant for response (informal)
February 28, 2019	Submission No. 2 received
March 4, 2019	Technical Report to Council
March 8, 2019	Notice of Public Meeting given to prescribed persons via newspaper and a courtesy notice mailed to landowners within 120 m of the subject property
April 1, 2019	Public Meeting held
April 18, 2019	Comment Tracking Summary provided to applicant
July 18, 2019	Submission No. 3 received
July 30, 2019	Scoped Circulation sent to City staff for comment
August 26, 2019	Recommendation report to Council

Analysis:

The proposal is required to meet all development standards and policies applicable to projects within the City of Owen Sound. The proposal is required to be consistent with the Provincial Policy Statement and in conformity with the City Official Plan and Zoning By-law.

The application is subject to review by the City Planning, Engineering, and Building staff as well as external commenting agencies. All applicable policies, standards, and comments received are reviewed below.

A: Provincial Policy Statement

The Provincial Policy Statement (PPS) has been reviewed with regard to the subject proposal. Municipal decisions on planning matters are required to be consistent with the PPS.

The PPS vision for the long-term prosperity and social well-being of citizens focuses growth and development within settlement areas and recognizes that land use must be carefully managed. Strong, liveable and healthy communities promote and enhance human health and social well-being, are economically and environmentally sound, and are resilient to climate change.

The PPS directs development to fully serviced, designated settlement areas and requires contiguous development that minimizes land consumption and servicing costs.

The proposal achieves these requirements by virtue of being within a designated growth area in the City, having existing access to full municipal services, and being contiguous to existing development. The proposal is considered greenfield, infill development.

The proposal is consistent with the Provincial Policy Statement.

B: County of Grey Official Plan (June 6, 2019)

The entire City of Owen Sound is designated as a 'Primary Settlement Area' in the County of Grey Official Plan (County OP).

Settlement areas with full municipal services are to be the focus of the majority of growth within the County. The County OP promotes a full range of residential, commercial, industrial, recreational, and institutional land uses within Primary Settlement Area. Land use policies and development standards are to be in accordance with the local Official Plan. The County has been consulted on the proposal and County staff have no objection to the applications.

The proposal conforms to the policies of the County OP.

C: City of Owen Sound Official Plan (2006)

The subject property is designated as 'East City Commercial' on Schedule 'A' in the Owen Sound Official Plan (OP). The property is located within Phase 1 of the Sydenham Heights Planning Area and is designated as 'East City Commercial' on Schedule 'A2' of the OP.

The East City Commercial designation identifies lands in the east part of the City that are at the main eastern entrance to the City. The main function of the designation is to accommodate large format retail and service commercial uses requiring relatively large sites. These sites are understood to serve as a regional destination and may include single or multi-purpose sites. Permitted uses in the designation also include complementary uses such as office, restaurant, large entertainment and community facilities, as well as service commercial uses. The designation also permits high density residential uses.

The proposed uses, a hotel and an office/retail building, are permitted within the East City Commercial designation.

The Official Plan generally requires that when a rezoning application is submitted for lands within the East City Commercial designation the applicant is required to provide a market analysis/study. In this case, a market retail study was not required because the site is already zoned C2 and the application is not proposing to add new or additional permitted commercial uses to the site. Further, the application is not proposing any gross floor area (GFA) beyond that which is permitted on the site currently. The application is requesting to modify the zone provisions for the site to allow for reduced setbacks, to permit an increased height for the hotel, and to reduce the overall parking requirement for the site.

The OP requires that new developments provide adequate off-street parking and loading spaces in accordance with the standards set out in the Zoning By-law. The initial submission proposed a 100-room hotel and a two-storey commercial/office building. The parking space deficiency for the original submission was 37 spaces. As a result of consultation with the City, the application has been revised to remove the second storey of the commercial building, which has reduced the parking space deficiency to 15 spaces. Shared parking between different buildings with different peak demand periods can be used as a justification to reduce the amount of parking areas required to service the uses. The hotel and commercial uses are expected to have varying peak parking demand times and therefore are able to effectively share a common parking area.

The OP further requires the City to consider the potential impact on adjacent uses when considering any application. In this case, the surrounding properties are still mainly vacant. Planning applications received over the last few years propose a residential subdivision including four to six storey apartment buildings on the adjacent lands to the west. Other surrounding properties include the Seasons

Retirement Residence (four storeys in height) to the east of the site and the Sunlife Plaza to the south. Adjacent parcels to the north are zoned for retail commercial development, which permits buildings with a potential height of four to six storeys. Some of the buildings proposed or anticipated on lots surrounding the subject lands are anticipated to be in the same height range (i.e., four to six storeys) as the proposed hotel. Once the lots along this stretch of 16th Avenue East are built out, the proposed hotel and the Seasons retirement home will likely be in a cluster of taller buildings ideally surrounded by a mix of permitted uses with varying heights. The hotel is located at the back of the site allowing the height of the buildings to rise from east to west across the site.

The hotel is proposed to be six storeys. The shadowing study submitted with the application indicates minor shadow impact on adjacent properties for a relative short time. The shadowing study shows that the greatest impact on adjacent properties will be around the time of the summer and winter solstice, i.e., June 21 and December 21, and will generally be limited to two to three hours. Generally, the majority of the shadow impacts will be contained within the subject property. The impact of the height of hotel on adjacent uses/lands is expected to be minimal. The design of the site conforms to the urban design policies of the OP.

The proposal conforms to the policies of the City OP.

D: City of Owen Sound Zoning By-law (2010-078, as amended)

The subject property is zoned 'Retail Commercial' (C2), Special Provision 14.79, and is subject to a Holding Provision (H) in the City's Zoning By-law (2010-078, as amended).

D1: The Amendment

The applicant has requested a number of site-specific amendments to the building regulations, laid out in Zoning By-law Sec. 5 and Sec. 7, pertaining to the lands. The applicant is also proposing removal of the Holding Provision from the lands.

Removal of the Holding

A Holding Provision is in force on the API lands. Generally, the purpose of a Holding Provision is to limit uses or development potential on the lands until certain outstanding obligations are fulfilled. In the case of the subject lands, Special Provision 14.79 limits the permitted uses to a single detached dwelling until payment of a capital cost recovery charge is made. The capital contribution is required to recoup funds for construction of 16th Avenue East. The charge of \$43,096.49 has been indexed to 2019 and is to be paid prior to the enactment of a by-law removing the Holding.

Requested Site Specific Zone Provisions

The rezoning application is requesting the following site-specific amendments to the Retail Commercial (C2) zone:

ZONE PROVISION			
Section	Provision	Required	Provided
5.10 (a)	Patio Setback	Min. 50 m setback from a Long Term Care Facility	43 m
5.10 (b)		Min. 50 m setback from a Residential Zone	35 m
5.18.2	Parking Spaces	146 spaces	131 spaces
5.22.1	Loading Space Requirements	2 loading spaces for the Hotel, which is >3000 m ²	1 loading space for the Hotel
7.3 (d)	Front Yard Setback	Min. 10 m	7.7 m
7.3 (h)	Height	Max. 18 m	18.5 m – flat roof
			23.3 m – tallest parapet

Reduced Outdoor Patio Setback

The application is proposing an outdoor patio area on the east side of the hotel. At this time, the use of the outdoor patio is noted as a breakfast patio. The Zoning By-law contains setback requirements to buffer adjacent uses from the potential impacts of an outdoor patio, particularly sensitive uses such as residential uses and Long Term Care facilities. The requested reduction in the setback is acceptable as the bulk of the hotel building as well as landscaping elements, such as fencing and plantings, and the physical distance between buildings and uses will buffer sensitive uses from the potential impacts of the patio and the commercial nature of the property. Site plan design discussed below will implement the landscaping and site design features, which function to buffer the patio from surrounding land uses. Given the site design, the proposed outdoor patio setback reductions from 50 m to 35 m and 45 m is believed to meet the general intent and purpose of the Zoning By-law.

Reduced Parking

As noted above the initial submission proposed a 100-room hotel and a two-storey commercial/office building which resulted in a parking space deficiency of 37 spaces. As a result of consultation with the City, the application has been

revised to remove the second storey of the commercial building. The application is proposing 131 parking spaces to be shared between the hotel and the commercial building. The zoning by-law requires 146 spaces based on the number of hotel rooms and the GFA of the commercial building. The applicant is proposing a 15 space or 10% parking reduction through the zoning amendment.

The application has provided a 'Parking Letter' (June 2019) prepared by a professional engineer. The letter details an updated parking study in support of the application. The study estimates parking demand (i.e., number of parking spaces used in relation to the number of hotel rooms occupied) for the hotel based on similar or comparable hotel sites. The study concluded that 131 stalls can sufficiently serve the uses. In addition, the hotel and commercial use are anticipated to have different peak demand times during the day. The shared parking analysis completed as part of the study projected that the peak parking demand for both uses would occur around 7:00 pm and would require approximately 103 parking spaces. The study concludes that the proposed parking supply of 131 parking spaces is expected to be sufficient to support the subject site. Given that the uses proposed on site are anticipated to have complimentary peak times, the proposed parking space reduction of 15 stalls or 10% is believed to meet the general intent and purpose of the Zoning By-law.

The site plan provides for six barrier free parking spaces located strategically across the site. The application is required to provide five barrier free parking spaces based on the total number of required parking spaces (146). All barrier free parking spaces shown on the site plan comply with AODA standards.

The Retail Commercial (C2) zone permits a range of commercial/retail uses including restaurants. These uses are subject to varying parking space provisions as per Section 5.18 of the zoning by-law. Certain uses, such as restaurants, have higher parking space provisions than others (i.e., higher number of parking spaces required per GFA). Since the number of required parking spaces for the site is proposed to be reduced, Staff recommend that uses that are subject to higher parking number requirement as per the by-law should be prohibited on the site. Staff recommend that uses permitted in Building B be limited to those uses whose parking requirement is one space per 25 m² GFA; this will prohibit, among others, restaurants, funeral homes, medical centre and veterinary clinics on the site. In addition, the zoning amendment should prohibit separate retail/commercial uses in the basement of Building B.

Reduced Loading Spaces

The hotel will be serviced by one loading space with direct access to the building. The loading space for the commercial building is located in between the two buildings and can be easily accessed and used by both buildings should the need arise. Given the site layout, the combination of uses and the location of the loading spaces, two loading spaces is anticipated to be sufficient to serve the site.

The proposed loading space reduction from three to two spaces is believed to meet the general intent and purpose of the Zoning By-law.

Reduced Front Yard Setback

The reduced front yard setback is similar to the setback established by the Sunlife building at the intersection of 16th Avenue East and 10th Street East and will contribute to the establishment of a consistent streetscape. The proposed setback will be sufficient to provide some amenity and landscaped space between the building and public street. The proposed front yard setback reduction from 10 m to 7.7 spaces is minimal and is believed to meet the general intent and purpose of the Zoning By-law.

Increased Height

The functional height increase for the flat roof of the hotel is minimal, however, the hotel design includes a decorative parapet wall. At its tallest point the parapet is proposed to be 4.8 m in height (Schedule D – Proposed Elevations). The parapet proposed for the hotel roof will provide architectural interest to the building and will minimize the visual impact of any mechanical equipment on the roof of the building. From an urban design standpoint, this is positive. The Zoning By-law definition of ‘Building Height’ requires that the highest point on a flat roof, excluding mechanical equipment, be accounted for in the building height measurement. The height of the parapet accounts for the majority of the requested height increase. The design and height of the parapet varies along the roof line and the maximum parapet height does not occur across the full façade of the building thereby reducing the potential impact of the increased height. As noted above, the shadowing study indicates minor shadow impact on adjacent properties for a relative short time. The proposed hotel height increase from 18 m to a maximum of 23.3 m for the parapet wall is believed to meet the general intent and purpose of the Zoning By-law.

D2: General Zoning Conformity

Zoning Matter	How is the Requirement Met?
Standard Parking Stalls	The proposed stalls meet the minimum size requirement (2.65m x 6.0m) and aisle widths meet or exceed the minimum requirements. The parking stalls proposed on the site plan conform with the parking provisions.
Barrier-Free Parking Stalls	The number of barrier-free parking stalls meets the zoning requirement.

Zoning Matter	How is the Requirement Met?
Loading Spaces	See above.
Queuing Spaces	No drive through is proposed.
Bicycle Parking Stalls	The proposed bicycle parking spaces meets the zoning requirements.
Setbacks	Other than the setbacks noted above the required setbacks are met or exceeded.
Lot Coverage	The lot coverage maximum is not exceeded.
Building Height	See above.
Hazard Land	No hazard lands impact the property.
Landscape Buffer Strips	The site plan shows the required planting strips adjacent to the residential uses and streets.

E: Site Plan Control Matters

The proposed development is subject to Site Plan Control in accordance with Sec. 41 of the Planning Act and City By-law 2011-034. The application is requesting site plan approval concurrently with the zoning by-law amendment application.

Staff have undertaken a thorough review of the Site Plan relative to the City Zoning By-law. Based on this review, the following merits note:

City of Owen Sound Accessibly Committee

Site Plan Review considers accessible design and ensures that the site will meet City and Provincial accessible design standards. The submitted site plan was presented to the City's Accessibility Advisory Committee (AAC) on July 29, 2019 for comment on matters of accessibility. The Committee provided the following comment for considerations.

1. That the owner be requested to consider the installation of benches intermittently along the exterior paths of travel for pedestrian rest areas; and
2. That the final approved site and construction plans reflect the requirements of the *Accessibility for Ontarians with Disabilities Act* and the Ontario Building Code respecting matters of accessibility.

Comment No. 1 has been included in Schedule 'F'. Prior to the finalization of the Site Plan, the applicant should consider the installation of benches. Comment No.

2 is considered 'other applicable law' and the site plan must conform to all pertinent sections of Accessibility for Ontarians with Disabilities Act and the Ontario Building Code.

City of Owen Sound Planning & Heritage Division

The Planning & Heritage Division has undertaken a full review of the application in consideration of the principles of good planning, which ensures a safe, functional, and attractive site layout. The following aspects of the site design merit noting in addition to the planning policy analysis above.

Design Aspect	Policy Context/Staff Comments
General Layout	The commercial building is located at the front of the L-shaped parcel with parking to the side and rear of the lot. Keeping development at the front of the lot allows for the development of a consistent streetscape.
Parking Layout	The parking lot layout is safe and functional.
Pedestrian Access and Connectivity	<p>The external sidewalk on the west side of 16th Avenue East connects to an internal sidewalk that travels east/west along the front of the commercial building. The sidewalk connects from the commercial building to the hotel via a dropped curb with tactile walking surface indicators and a painted pedestrian crosswalk between the concrete sidewalks. The sidewalk continues along the east side of the hotel to the main entrance. A concrete sidewalk is also located on the west side of the hotel. The sidewalks on the east and west side of the hotel terminate in a dropped curb and tactile walking surface indicators at the perimeter of the hotel.</p> <p>It is recommended as a condition of approval that tactile (TWSI) plates be red, cast iron per City Standards and be provided where ever there is a change in grade from the on-site sidewalk to the drive aisles and parking areas.</p>
Lighting	Exterior lighting is proposed around the perimeter of both buildings. As well the site plan is proposing lighting along the property boundary at strategic intervals.

Design Aspect	Policy Context/Staff Comments
	<p>Engineering Services has noted that the proposed on-site LED lighting should be specified with a colour temperature (CCT) of 3000K (warm white). The lighting will be downward facing and dark-sky compliant.</p>
Landscaping	<p>The zoning by-law requires a 1.5 m planting strip along the western and eastern property boundaries. These planting strips are shown on the site plan with appropriate materials.</p> <p>Further, the landscape plan (L100 dated) shows plantings cluster at the corners of the property boundary and planting strips along the southern and eastern boundary. Planting areas are distributed along the perimeter of the hotel building with an emphasis on the front façade of the building. The area between the commercial building and the front lot line also contains a number of plantings.</p> <p>A retaining wall and decorative metal fence will be constructed along the northern property.</p> <p>All parking surfaces and drive aisles are to be paved in asphalt. Any areas that are not developed, paved or subject to the specific plantings will be required to be sodded.</p>
Garbage & Recycling	<p>A garbage enclosure with a 2.0m high fence is proposed on the northeast corner of the commercial building. The garbage enclosure will mainly serve the commercial building. The hotel will manage its garbage within the building.</p>
Snow Storage	<p>Snow storage is shown on a portion of the southern property boundary, in the corners of the property and on the concrete boulevard between the buildings and the concrete sidewalks.</p> <p>Through the application process, Staff have noted to the applicant that snow storage on site might be insufficient in the event of a major snowfall. The applicant has indicated that 12% of total asphalt is dedicated for snow storage. This is allocated to</p>

Design Aspect	Policy Context/Staff Comments
	landscape areas, since there is no surplus parking on site. A standard term of the Site Plan Agreement addresses excess snow, and requires that any snow that cannot be accommodated in the designated snow storage areas must be trucked off site.

The City Planning & Heritage Division recommends approval of application ST2019-004 subject to the recommended conditions.

City of Owen Sound Engineering & Public Works Department

Comment has been received from the City’s Engineering and Public Works Department with no objection to the subject proposal.

Engineering Detail	Staff Comments
Stormwater Management	<ol style="list-style-type: none"> 1. The site specific SWM design utilizes Stormtech MC-3500 open bottom storage chambers with a capacity of 101 m³ located beneath the parking lot with an outlet orifice control to limit the discharge from all design storms up to the 100-year design storm to the pre-development, 5-year design storm level. 2. The stormwater overland flow from this property will not discharge to any abutting properties or road allowances under any of the 2-100 year design storm events. 3. Storm runoff quality control to an ‘enhanced’ level will be provided by a Hydraworks OGI and a CB Shield POE trap. <p>The City will not provide any maintenance or repair operations on any portion of the SWM system located on private property.</p> <p>The SWM Report is acceptable.</p>
Grading & Drainage	Site grading conforms to City standards and supports the approved stormwater management plan.

Engineering Detail	Staff Comments
Site Servicing	Municipal services are available and a servicing feasibility study submitted with the application demonstrates that the existing service capacities on 16 th Avenue East will support the proposed hotel development.
Parking, Site Access, & Traffic Circulation	<p>Parking, site access, and traffic circulation standards have been met. Engineering Services Division accepts the recommendation of the submitted Traffic Impact Study.</p> <p>16th Avenue is a designated arterial road in the City's Official Plan. Arterial roads are generally to have sidewalks on both sides of the street.</p> <p>A capital contribution of \$43,096.49 for the past construction of 16th Avenue East is required prior the Holding provision being lifted.</p>
Landscaping	No landscaping is permitted within the sight triangles and none is proposed.
Environmental	There are no known environmental issues with the property. The proposal represents greenfield development.
Fees	Payment of the Engineering Review Fee is recommended as a condition of approval. The amount of this fee depends on an external works cost estimate, which has not yet been submitted.

The City's Engineering and Public Works Department recommends approval of application ST2019-004, subject to the recommended conditions.

The proposal meets the requirements of the City Zoning By-law subject to approval of the site specific zoning by-law amendment ZBA 28.

City Staff & Agency Comments

In response to the request for comment from the Planning & Heritage Division, the following comments have been submitted for review pertaining to the subject application. All comments can be found attached hereto as Schedule 'E'.

City of Owen Sound Fire Prevention

Fire Prevention comments noted that the fire department connection on the commercial building is located at the west end. It should be located on the south east corner, near the principal / fire fighters entrance. Comments from Fire Prevention on the revised submission note that there are no outstanding issues.

Grey Sauble Conservation Authority (GSCA)

Comment has been received from the GSCA with no objection to the subject proposal. The Conservation Authority is generally satisfied with the proposed approach to stormwater management on site.

County of Grey

Comment was received from the County of Grey with no objection to the proposal. The County notes that comment should be sought from the Source Water Protection Risk Management Office (RMO) to confirm that there are no concerns. The RMO was not contacted directly as Engineering Services noted that A SWP Risk Management Plan is not required as fuel storage is not a component of this proposed development.

Transport Canada - Civil Aviation

No comments were received.

Canada Post

No comments were received.

Enbridge/Union Gas

Comment was received from Enbridge/Union Gas with no objection to the proposal.

Next Steps:

In accordance with the Planning Act and City protocols for processing Planning Act Applications, the following outlines the next steps in the process:

Anticipated Date	Step
September 9, 2019	By-laws brought to Council for enactment.

Financial/Budget Implications:

None to the City.

Communication Strategy:

As noted, notice of complete application has been given as required by the Planning Act.

Consultation:

The public meeting was held on April 1, 2019. The minutes of the public meeting are attached in Schedule 'E'. Public notice for the meeting was given via the Owen Sound Times and a courtesy mailing to property owners within 120 m of the property on March 8, 2019.

Two members of the public made oral submissions at the public meeting. Allan Pearson of Owen Sound provided comments with respect to the impact on the 10th Street East Extension, the proximity of the proposed development to the East Ridge Primary School, and the limited availability of parking on site. Peter Reid of Georgian Bluffs expressed concerns related to the number of proposed accessible parking spots on the site. No written comments were received. The parking reduction is discussed in Section C City Official Plan and Section D.1 Amendment. The number of barrier-free parking stalls meets the zoning requirement and the barrier-free spaces conform to AODA requirements.

Attachments:

- Schedule 'A': Orthophoto
- Schedule 'B': Official Plan and Zoning Map
- Schedule 'C': Site Plan, Landscape Plan
- Schedule 'D': Hotel Elevations
- Schedule 'E': Minutes of the Public Meeting – April 1, 2019
- Schedule 'F': Conditions of Approval


Prepared by	Sabine Robart, MSC (PLAN)	<u>Signature on File</u>
Reviewed by:	Amy Cann, M. PL. MCIP, RPP	<u>Signature on File</u>
Reviewed by:	Pam Coulter, BA, RPP	<u>Signature on File</u>
Submitted by:	Wayne Ritchie	<u>Signature on File</u>

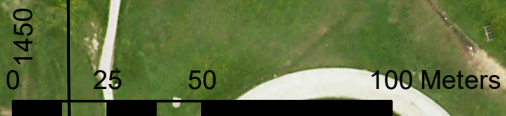
SCHEDULE A

ORTHOPHOTO

Schedule 'A': Orthophoto



 Subject Property



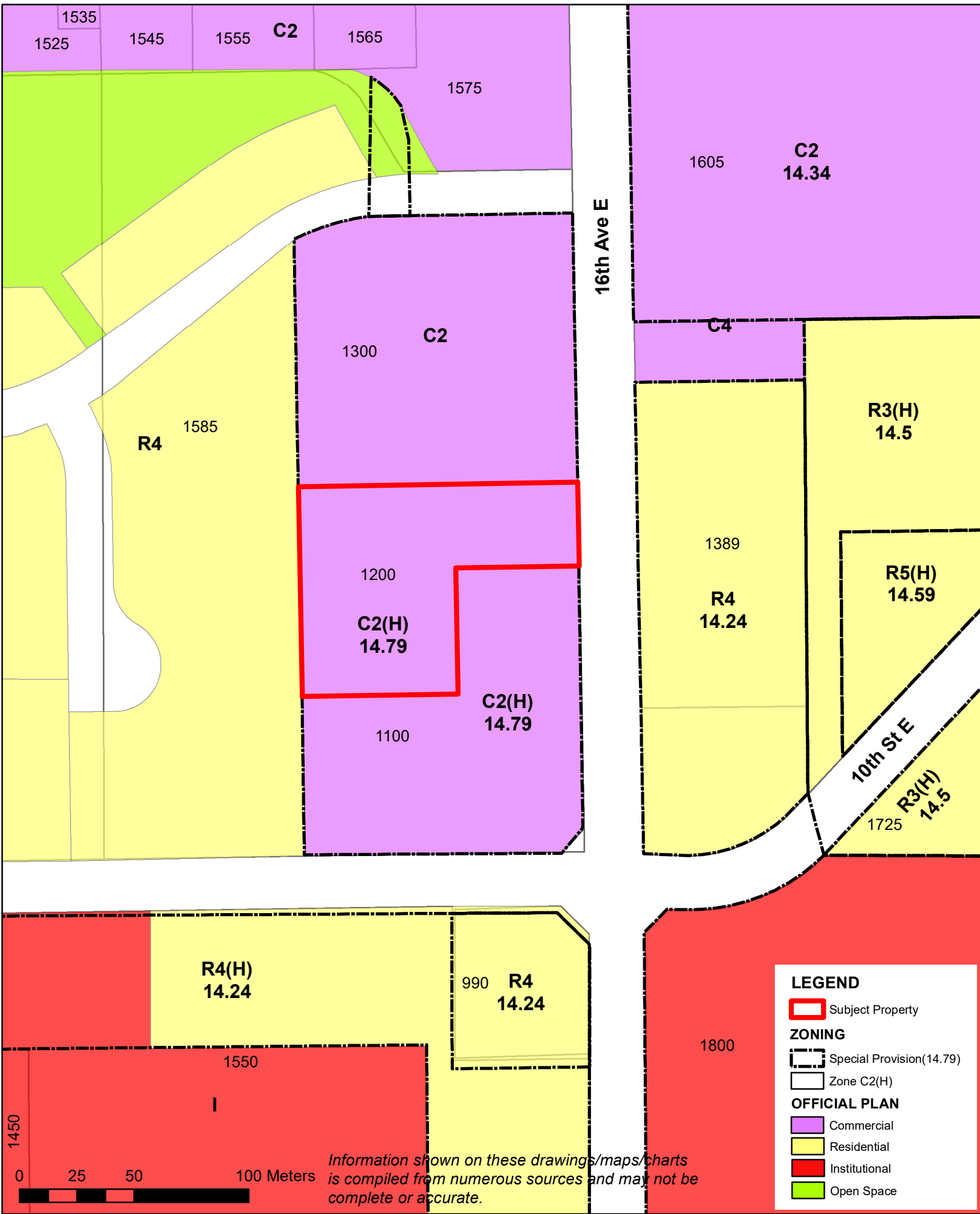
Information shown on these drawings/maps/charts is compiled from numerous sources and may not be complete or accurate.

SCHEDULE B



PLANNING MAP

Schedule 'B': Official Plan Designations and Zoning



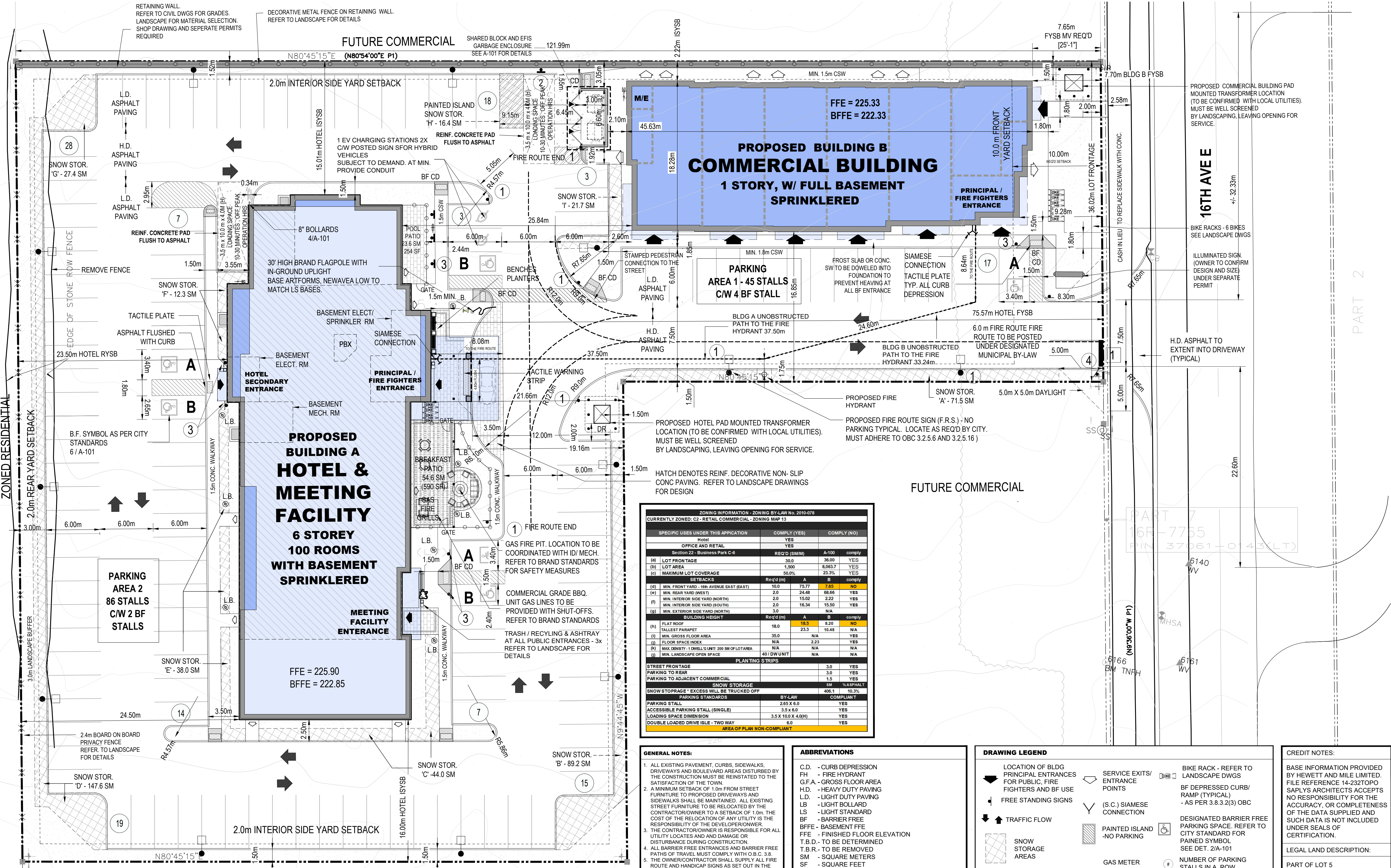
SCHEDULE C



SITE PLAN



KEY PLAN - NTS



ZONING INFORMATION - ZONING BY-LAW No. 2016-078
CURRENTLY ZONED: C2 - RETAIL COMMERCIAL - ZONING MAP 13

SPECIFIC USES UNDER THIS APPLICATION	COMPLY (YES)	COMPLY (NO)
Hotel	YES	
OFFICE AND RETAIL	YES	
Section 22 - Business Park C-6	REQ'D (SMM)	A-100 comply
(a) LOT FRONTAGE	30.0	36.00 YES
(b) LOT AREA	1,500	8,063.7 YES
(c) MAXIMUM LOT COVERAGE	50.0%	23.3% YES
SETBACKS	Req'd (m)	A B comply
(d) MIN. FRONT YARD - 16th AVENUE EAST (EAST)	10.0	7.57 7.65 NO
(e) MIN. REAR YARD (WEST)	2.0	24.48 68.66 YES
(f) MIN. INTERIOR SIDE YARD (NORTH)	2.0	15.02 2.22 YES
(g) MIN. INTERIOR SIDE YARD (SOUTH)	2.0	16.34 15.50 YES
(h) MIN. EXTERIOR SIDE YARD (NORTH)	3.0	N/A N/A
BUILDING HEIGHT	Req'd (m)	A B comply
(i) FLAT ROOF	18.0	14.3 12.1 NO
(j) TALLEST PARAPET	18.0	23.3 16.48 YES
(k) MIN. GROSS FLOOR AREA	35.0	N/A YES
(l) FLOOR SPACE INDEX	N/A	2.23 YES
(m) MAX. DENSITY - 1 DWELL UNIT 200 SM OF LOT AREA	N/A	N/A N/A
(n) MIN. LANDSCAPE OPEN SPACE	40 / DW UNIT	N/A N/A
PLANTING STRIPS		
STREET FRONTAGE		3.0 YES
PARKING TO REAR		1.5 YES
PARKING TO ADJACENT COMMERCIAL		1.5 YES
SNOW STORAGE	SM	% ASPHALT
SNOW STORAGE - EXCESS WILL BE TRUCKED OFF	40%	15.3%
PARKING STANDARDS	BY-LAW	COMPLIANT
PARKING STALL	2.65 X 6.0	YES
ACCESSIBLE PARKING STALL (SINGLE)	3.5 X 6.0	YES
LOADING SPACE DIMENSION	3.5 X 10.0 X 4.0(H)	YES
DOUBLE LOADED DRIVE ISLE - TWO WAY	6.0	YES

AREA OF PLAN NON-COMPLIANT

GENERAL NOTES:

- ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AND BOULEVARD AREAS DISTURBED BY THE CONSTRUCTION MUST BE REINSTATED TO THE SATISFACTION OF THE TOWN.
- A MINIMUM SETBACK OF 1.0m FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE RELOCATED BY THE CONTRACTOR/OWNER TO A SETBACK OF 1.0m. THE COST OF THE RELOCATION OF ANY UTILITY IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER.
- THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND DAMAGE OR DISTURBANCE DURING CONSTRUCTION.
- ALL BARRIER FREE ENTRANCES AND BARRIER FREE PATHS OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.
- THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE ROUTE AND HANDICAP SIGNS AS SET OUT IN THE TOWN BY-LAWS AND DESIGN CRITERIA.
- ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND DESIGNED TO MAINTAIN ZERO CUTOFF LIGHT DISTRIBUTION AS THE PROPERTY LINE.
- ALL DOWNSPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
- ALL CONDENSING UNITS TO BE SCREENED ON THE GROUND FLOOR.
- SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.
- NO WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.
- EXCESS SNOW WILL BE REMOVED BY PRIVATE HAULER SUBJECT TO DEMAND FOR PARKING.
- REBOUNDING SIGN POST MOUNTED ON CURB. MANUFACTURE: IMPACT RECOVERY (http://www.impactrecovery.com/) STYLE: Sta-Rite Sign Posts. SIGN MOUNTING HEIGHT & SIGN AS PER TOWN ACCESSIBILITY STANDARDS.

PAVEMENT MARKING INDEX:

- STOP BAR 0.30m
- SOLID YELLOW 0.10m
- ACCESSIBLE PARKING MARKING

ABBREVIATIONS

C.D. - CURB DEPRESSION
 FH - FIRE HYDRANT
 G.F.A. - GROSS FLOOR AREA
 H.D. - HEAVY DUTY PAVING
 L.D. - LIGHT DUTY PAVING
 L.B. - LIGHT BOLLARD
 L.S. - LIGHT STANDARD
 BF - BARRIER FREE
 BFFE - BASEMENT FFE
 FFE - FINISHED FLOOR ELEVATION
 T.B.D. - TO BE DETERMINED
 T.B.R. - TO BE REMOVED
 SM - SQUARE METERS
 SF - SQUARE FEET
 PROV. - PROVIDED
 REQ'D - REQUIRED
 BS - BUS SHELTER
 EX - EXISTING
 F.R.S. - FIRE ROUTE SIGN
 B - BOLLARD
 FYSB - FRONT YARD SETBACK
 ISYB - INTERIOR SIDE YARD SETBACK
 RYSB - REAR YARD BUILDING SETBACK

SIGN INDEX

- FIRE ROUTE SIGN - CITY STANDARD
- NO PARKING ANY TIME - Ra-51 30 cm x 30 cm LEFT/RIGHT ARROW
- NO PARKING ANY TIME - Ra-51 30 cm x 30 cm LEFT ARROW
- NO PARKING ANY TIME - Ra-51 30 cm x 30 cm RIGHT ARROW
- ACCESSIBLE PARKING - see detail 14/A-101
- STOP SIGN - Ra-160 cm x 60 cm
- STOP SIGN - Ra-160 cm x 60 cm WITH ALL-WAY TAB Ra-115cm x 30cm

DRAWING LEGEND

LOCATION OF BLDG PRINCIPAL ENTRANCES FOR PUBLIC, FIRE FIGHTERS AND BF USE

FREE STANDING SIGNS

TRAFFIC FLOW

SNOW STORAGE AREAS

AREA OF PROPOSED NEW BLDG

EXISTING BUILDING

HARDSCAPE PAVERS / STAMPED CONCRETE. REFER TO LANDSCAPE DRAWINGS

PATH OF FIRE ROUTE

PHASE 2 SOFT LANDSCAPE AREAS REFER TO LANDSCAPE DRAWING

PHASE 1 LANDSCAPE AREAS REFER TO LANDSCAPE DRAWING

OWNERS OPTION FOR HYBRID PARKING STALLS. EV CHARGING STATION C/W SIGN AND - SEE ELECTRICAL. AT A MINIMUM A CONDUIT IS TO BE RUN FOR FUTURE WORK

SERVICE EXITS/ ENTRANCE POINTS

(S.C.) SIAMESE CONNECTION

PAINTED ISLAND - NO PARKING

GAS METER

BIKE RACK - REFER TO LANDSCAPE DWGS

BF DEPRESSED CURB/ RAMP (TYPICAL) - AS PER 3.8.3.2(3) OBC

DESIGNATED BARRIER FREE PARKING SPACE. REFER TO CITY STANDARD FOR PAINTED SYMBOL SEE DET. 2/A-101

NUMBER OF PARKING STALLS IN A ROW

PROPOSED LOCATION OF PAD MOUNTED TRANSFORMER (CONFIRM WITH LOCAL UTILITIES SEE SITE ELECTRICAL PLAN)

LOCATION OF L.S.

PROPOSED CHAIN LINK FENCE SEE CIVIL

PROPOSED DECORATIVE FENCING SEE LANDSCAPE DWG

FLAG POLE C/W UPLIGHT (SEE ELEC. SI) FLAG POLE SPEC 2/A-101 OR EQUAL

CREDIT NOTES:

BASE INFORMATION PROVIDED BY HEWETT AND MILNE LIMITED. FILE REFERENCE 14-232TOPO. SAPLYS ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY, OR COMPLETENESS OF THE DATA SUPPLIED AND SUCH DATA IS NOT INCLUDED UNDER SEALS OF CERTIFICATION.

LEGAL LAND DESCRIPTION:

PART OF LOT 5 RANGE 5 EAST OF GARAFAXA RD CITY OF OWEN SOUND COUNTY OF GREY

SURVEYS INFO
FILE: 268-2 / 14-232TOPO

HEWETT AND MILNE LIMITED
ONTARIO LAND SURVEYORS
502 BAY STREET EAST
OWEN SOUND, ONTARIO
P.O. BOX 112, 444 SP1
TEL: 519-376-5528
FAX: 519-376-5534
EMAIL: hml@hml.com

TOWNEPLACE SUITES MARRIOTT HOTEL & COMMERCIAL BUILDING

1200 16th AVENUE EAST, OWEN SOUND, ONTARIO

MASTER SITE PLAN
Pre APPLICATION: 2017-007

PROJECT NO. A17066 A&B
SCALE: 1:350

A-100

SITE STATISTICS - OWEN SOUND

PART	SM	SF	ACRES	%
GROSS SITE AREA	8,963.7	88,797	1,993	100%
A+B LOT COVERAGE ALL BUILDINGS	1,862.8	20,051	0,460	23.1%
LANDSCAPING - SOFT	1,253.8	13,494	0,310	15.3%
LANDSCAPING - HARD	236.4	2,545	0,058	2.9%
TOTAL LANDSCAPE AREA	1,490.2	16,038	0,368	18.3%
ASPHALT (CURBS & WALKWAYS)	3,931.4	42,317	0,971	48.8%
MISC (LANDING & WALKWAYS)	1,015.9	10,835	0,251	12.8%
BASEMENT	845.1	9,097	0,209	10.3%
HOTEL GROUND FLOOR	1,122.7	12,085	0,277	13.9%
SECOND FLOOR	1,049.8	11,300	0,261	13.0%
THIRD FLOOR	1,049.8	11,300	0,261	13.0%
FOURTH FLOOR	1,049.8	11,300	0,261	13.0%
FIFTH FLOOR	1,049.8	11,300	0,261	13.0%
SIXTH FLOOR	1,049.8	11,300	0,261	13.0%
HOTEL GFA WITH DEDUCTIONS	6,271.3	67,504	1,550	3.367
BASEMENT (S TO R)	740.1	7,966	0,183	9.2%
GROUND FLOOR RETAIL	1,490.2	16,038	0,366	0.184
BUILDING B - GFA	1,254.0	13,494	0,310	0.156
BUILDING B - GFA WITH DEDUCTION	8,971.1	93,815	2,149	1,079

PARKING CALCULATIONS

HOTEL - 1.2 SPACE PER ROOM
 COMMERCIAL - RETAIL CENTRE 1 / 25 SM OF GFA - OFFICE 1/28 SM GFA

USE	OLY SM	PER	RATIO	TOTAL
BUILDING A - NUMBER OF ROOMS	100	1	1.2	120
BUILDING B - RETAIL (WITH DEDUCTIONS)	630	1	25.0	25
TOTAL PARKING PROVIDED				145
PARKING AREA 1				45
PARKING AREA 2				88
TOTAL PARKING PROVIDED				131
LOADING SPACE (SECTION 322.1)	131		145	-14
BUILDING A - HOTEL (NO SHIPPING OF GOODS)	2215.5	GFA	0	
REQUIRED (300-3000 SM GFA)	1480.2	GFA	1	
TOTAL PROVIDED				2
ACCESSIBLE (SECTION 5.10.1)	145.2	REQUIRED	6	
PROVIDED				6
BICYCLE PARKING (SECTION 5.20.1)		REQUIRED	5	
PROVIDED				5
HOTEL - 1 SPACE / 20 ROOMS	100	1	1.2	120
COMMERCIAL - USES 5% SPACES (MIN. 4)	25	REQUIRED	4	
TOTAL REQUIRED				9
PROVIDED				12

DATE: JAN/24/19

GENERAL NOTES:

TOPSOIL:

USE EVENLY MIXED TOPSOIL OF FERTILE, FRIABLE NATURAL LOAM CONTAINING NOT LESS THAN 4% ORGANIC MATTER FOR CLAY LOAMS AND 2% MINIMUM ORGANIC MATTER FOR SAND LOAMS WITH AN ACIDITY RANGE OF 5.5 TO 7.5 pH. ALL TOPSOIL SHOULD BE FREE OF SUBSOILS, CLAY, STONES, ROOTS, EXCESS WATER, FROST AND OTHER EXTRANEOUS MATTER.

PLANTING:

(UNLESS OTHERWISE SPECIFIED)
 - PREPARE PLANTING SOIL BY EVENLY MIXING FOUR PARTS SANDY TOPSOIL, ONE PART ORGANIC SOIL ADDITIVE WITH 500g. BONE MEAL AND 750g COMMERCIAL FERTILIZER PER CUBIC METER. THE FOREGOING RATES ARE SUBJECT TO ADJUSTMENT ON RECEIPT OF TOPSOIL ANALYSIS REPORT.
 - EXCAVATE AND PROVIDE PLANTING SOILS AS PER PLANTING DETAILS.
 - PROVIDE ALL SHRUBS AND TREES ACCORDING TO THE GUIDE SPECIFICATIONS FOR NURSERY STOCK OF THE CANADIAN NURSERY TRADE ASSOCIATION WITH REGARD TO QUALITY AND GRADING AND SIZED AS PER PLANT LIST.
 - SPRAY ALL PLANTINGS IN LEAF WITH ANTIDISCICANT.
 - PROVIDE TREES WITH STAKES.
 - PLANTS ARE TO BE NO. 1 NURSERY GROWN, UNDER PROPER CULTURAL PRACTICES, IN PARTICULAR WITH RESPECT TO AMPLE SPACING, PEST AND DISEASE CONTROL, AND BRANCH AND ROOT TRAINING.
 - TREES ARE TO HAVE STURDY, STRAIGHT TRUNKS.
 - TREES SHALL BE WELL BRANCHED AND BALANCED WITH A STRONG CENTRAL LEADER.
 - DECIDUOUS SHADE TREES SHALL BE FREE OF BRANCHES NOT LESS THAN 1.8m ABOVE THE GROUND.
 - ALL SHRUBS ARE TO BE PLANTED IN CONTINUOUS BEDS.
 - DO NOT SOD BETWEEN PLANTS. EXCAVATE ENTIRE AREA OF SHRUB BED UNIFORMLY TO SPECIFIED DEPTH AND FILL WITH SPECIFIED PLANTING SOIL.

SODDING:

PREPARE A MINIMUM 100mm DEPTH OF TOPSOIL WITH A 10-6-4 COMMERCIAL FERTILIZER AT 7.3kg./100sq.m. AND SUPER PHOSPHATE AT 5kg./100sq.m. THE PROPORTIONS SPECIFIED ARE SUBJECT TO ADJUSTMENT DEPENDING ON TOPSOIL ANALYSIS REPORT
 - LAY NO. 1 NURSERY SOD ON ALL AREAS OF THE PROJECT NOT COVERED BY BUILDINGS OR PAVING.
 - IMMEDIATELY AFTER INSTALLATION, SOD MUST BE WATERED AND ROLLED.

UNIT PAVING:

PAVERS SHALL BE PRECAST CONCRETE UNIT PAVERS WITH MIN. 58.65 M.P.A. (8500 P.S.I.) COMPRESSIVE STRENGTH, AND A WATER ABSORPTION NOT EXCEEDING 5% AND A FREEZE-THAW RESISTANCE EQUAL TO C.S.A.-A82-2 (1967).
 - SETTING BED SHALL CONSIST OF SHARP, CLEAN, COARSE CONCRETE SAND OR APPROVED LIMESTONE SCREENINGS.
 - SAND FOR JOINTS SHALL BE A CLEAN, NATURAL GRAVEL, CRUSHED STONE OR ROCK.
 - INSTALL GRANULAR BASE AND COMPACT TO A MINIMUM 98% STANDARD PROCTOR DENSITY UNTIL THE MIN. SPECIFIED DEPTH AS DETAILED. HAS BEEN ESTABLISHED.
 - LOOSELY PLACED CONCRETE SAND OR SCREENINGS TO A UNIFORM DEPTH OF 50mm. (2"), MIN.
 - MAINTAIN JOINTS UNIFORM AND CLOSELY BUTTED THROUGHOUT.
 - WHERE NECESSARY, SAW CUT PAVERS TO PRODUCE A SHARP, VERTICAL CUT WITHOUT DAMAGED EDGES, AND TO FIT ACCURATELY.
 - AFTER COMPLETION OF INSTALLATION, COMPACT PAVING BY MEANS OF A VIBRATING PLATE TAMPER.
 - FILL THE JOINTS WITH FINE SAND, BY BRUSHING AND SWEEPING.
 - HOSE PAVING WITH FINE WATER SPRAY.

UTILITIES:

APPLICANT IS RESPONSIBLE FOR OBTAINING NECESSARY APPROVALS FROM THE UTILITY COMPANIES FOR WORKS WITHIN THE MUNICIPAL BOULEVARD. ALL UTILITIES WITHIN THE BOULEVARDS MUST BE LOCATED PRIOR TO COMMENCING CONSTRUCTION WITHIN THE BOULEVARD.

MAINTENANCE & ACCEPTANCE:

ALL PLANT MATERIAL SHALL BE MAINTAINED BY THE CONTRACTOR IMMEDIATELY AFTER ANY PLANTING HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL THE DATE OF FINAL ACCEPTANCE.
 SUCH MAINTENANCE SHALL INCLUDE ALL MEASURES NECESSARY TO ESTABLISH AND MAINTAIN ALL PLANTS IN AN ACCEPTABLE, VIGOROUS AND HEALTHY GROWING CONDITION INCLUDING CULTIVATING AND WEEDING, WATERING WHEN REQUIRED, PRUNING AND MAINTENANCE OF ALL ACCESSORIES.
 AT TIME OF INSPECTION FOR INITIAL & FINAL ACCEPTANCE, ALL PLANTING BEDS AND TREE PITS SHALL BE FRESHLY CULTIVATED, FREE OF WEEDS, LEAVES, BROKEN BRANCHES AND RUBBISH AND SHALL BE IN A NEAT AND TIDY CONDITION.
 ALL PLANT MATERIAL TO BE GUARANTEED FOR A PERIOD OF 2 (TWO) YEARS FROM THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND LOCAL AUTHORITY UNLESS OTHERWISE NOTED.
 MAINTAIN PLANTING BEDS AND TREE PITS FREE OF WEEDS THROUGHOUT THE GUARANTEE PERIOD.
 THE DEVELOPER SHALL REGULARLY REMOVE DEBRIS FROM THE WETLAND UNTIL THE COMPLETION OF ALL BUILDING CONSTRUCTION WITHIN THE DEVELOPMENT

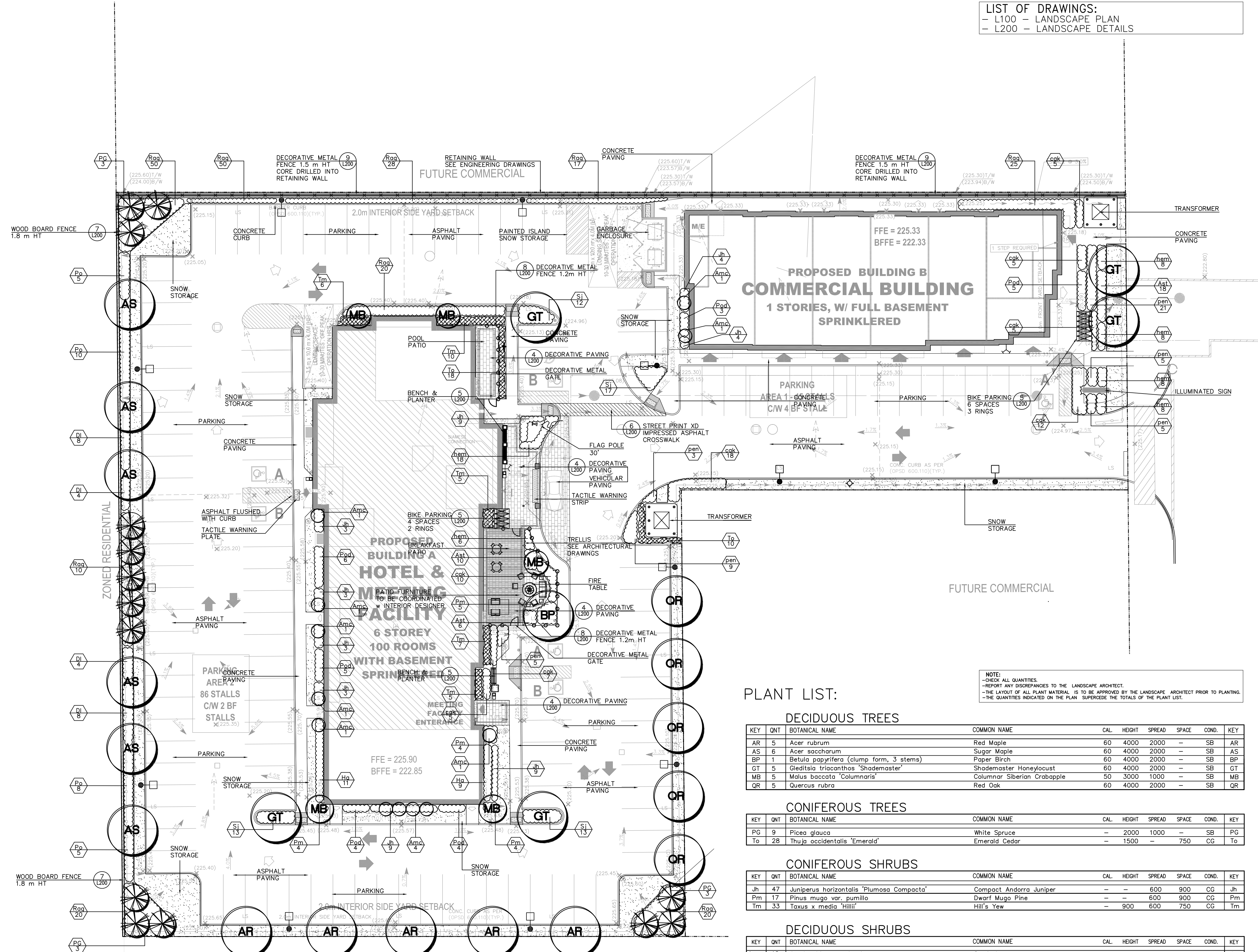
RODENT PROTECTION:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND SHRUBS FROM RODENT INJURY FOR THE DURATION OF THE GUARANTEE PERIOD. PROTECTIVE WIRE MESH GUARDS SHALL BE EMPLOYED AROUND ALL DECIDUOUS TREES. GUARDS SHALL BE INSTALLED PRIOR TO THE APPLICATION OF MULCH AND SHOULD BE PLACED A MINIMUM OF 50mm OUT FROM THE TREE TRUNK ON ALL SIDES. SUFFICIENT MESH SHOULD BE CUT TO COMPLETE THIS CIRCUMFERENCE AS WELL AS TO PROVIDE A MINIMUM OF 25mm OVERLAP.
 THE WIRE MESH GUARDS MUST BE OF GALVANIZED STEEL 12mm SQUARE MESH, 19 GAUGE AND SUPPLIED IN 600mm ROLLS. THE WIRE MESH CAN BE FASTENED WITH ANY ACCEPTABLE GALVANIZED WIRE TIE. ALL SHRUBS AND CONIFEROUS TREES SHALL HAVE AN APPLICATION OF "SKOOT" OR APPROVED EQUIVALENT RODENT FORMULA, TO BE APPLIED AT THE END OF OCTOBER. FOLLOW MANUFACTURER'S DIRECTIONS FOR APPLICATION.

TREE LOCATION:

NO TREES SHALL BE PLANTED UNDER OVERHEAD WIRES OR OVER UNDERGROUND SERVICES.
 TREES ARE NOT TO BE PLANTED LESS THAN 1M FROM CURBS, UNDERGROUND UTILITIES, SIDEWALKS AND DRIVEWAYS, 2m FROM FIRE HYDRANTS AND TRANSFORMERS, AND 4m FROM LIGHT STANDARDS.
 THE CONTRACTOR IS TO STAKE OUT LOCATIONS OF TREE PITS. THIS STAKE OUT IS TO BE INSPECTED BEFORE THE EXCAVATION OF ANY TREE PITS.
 BEFORE THIS STAKE OUT, THE CONTRACTOR IS TO REQUEST A STAKE OUT ALL UNDERGROUND SERVICES.
 THE LANDSCAPE ARCHITECT AND THE MUNICIPALITY MAY, AT THEIR DISCRETION REDISTRIBUTE TREE LOCATIONS, PRIOR TO PLANTING, IN ORDER TO MINIMIZE CONFLICTS WITH UTILITIES, DRIVEWAYS AND INTERSECTION VISIBILITY.

- LIST OF DRAWINGS:**
 - L100 - LANDSCAPE PLAN
 - L200 - LANDSCAPE DETAILS



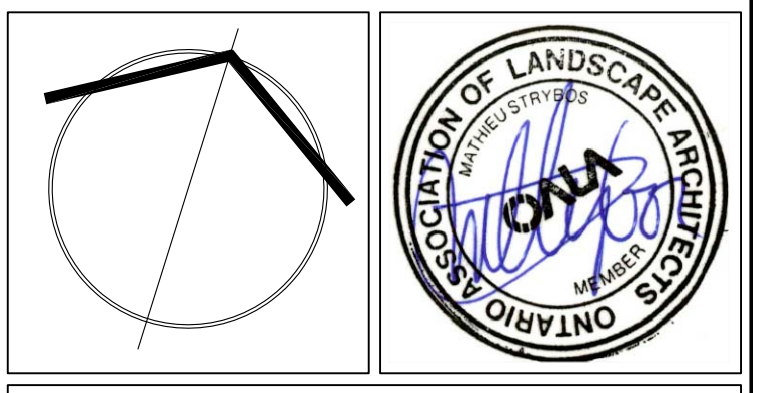
GENERAL NOTES
 - VERIFY ALL DIMENSIONS.
 - DO NOT SCALE DRAWINGS.
 - REPORT ANY DISCREPANCIES, DISCOVERED ERRORS, OR OMISSIONS TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
 - IT IS ADVISED THAT CONTRACTORS CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION TO ENSURE THE USE OF THE LATEST REVISED DRAWINGS.
 - DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT.



- LEGEND**
- PROPOSED DECIDUOUS TREE
 - PROPOSED CONIFEROUS TREE
 - PROPOSED SHRUBS
 - SODDING
 - DECORATIVE PAVING

No.	DATE	REVISION	BY
4.	JUN. 14, 2019	ISSUED FOR SPA SUBMISSION	M.S.
3.	FEB. 25, 2019	ISSUED FOR SPA SUBMISSION	M.S.
2.	JAN. 23, 2019	ISSUED FOR REVIEW	M.S.
1.	DEC. 04, 2018	ISSUED FOR SPA SUBMISSION	M.S.

It is the responsibility of the Contractor and/or Owner to ensure that the drawings with the latest revisions are used for construction.



SBK 5770 HURONTARIO STREET, SUITE 320
 MISSISSAUGA, ONTARIO, L5R 3G5
 T: 416.695.4949 F: 905.712.3101
 WWW.STRYBOS.COM

STRYBOS BARRON KING
 LANDSCAPE ARCHITECTURE

PROJECT: **HOTEL TOWNEPLACE SUITES MARRIOTT**
 COMMERCIAL/OFFICE BUILDING
 1200 16th AVENUE EAST, OWEN SOUND, ON

DRAWING TITLE: **LANDSCAPE PLAN**

SCALE: 1:250	PROJECT No. 4628
DATE: MAY 2019	DRAWING No. L100
DRAWN BY: J.M.	CHECKED BY: M.S.

PLANT LIST:

DECIDUOUS TREES

KEY	QNT	BOTANICAL NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	SPACE	COND.	KEY
AR	5	Acer rubrum	Red Maple	60	4000	2000	-	SB	AR
AS	6	Acer saccharum	Sugar Maple	60	4000	2000	-	SB	AS
BP	1	Betula papyrifera (clump form, 3 stems)	Paper Birch	60	4000	2000	-	SB	BP
GT	5	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	60	4000	2000	-	SB	GT
MB	5	Morus baccata 'Columnaris'	Columnar Siberian Crabapple	50	3000	1000	-	SB	MB
QR	5	Quercus rubra	Red Oak	60	4000	2000	-	SB	QR

CONIFEROUS TREES

KEY	QNT	BOTANICAL NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	SPACE	COND.	KEY
PG	9	Picea glauca	White Spruce	-	2000	1000	-	SB	PG
To	28	Thuja occidentalis 'Emerald'	Emerald Cedar	-	1500	-	750	CG	To

CONIFEROUS SHRUBS

KEY	QNT	BOTANICAL NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	SPACE	COND.	KEY
Jh	47	Juniperus horizontalis 'Plumosa Compacta'	Compact Ardora Juniper	-	-	600	900	CG	Jh
Pm	17	Pinus mugo var. pumilla	Dwarf Mugo Pine	-	-	600	900	CG	Pm
Tm	33	Taxus x media 'Hilli'	Hill's Yew	-	900	600	750	CG	Tm

DECIDUOUS SHRUBS

KEY	QNT	BOTANICAL NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	SPACE	COND.	KEY
Amc	12	Amelanchier canadensis	Serviceberry	-	1200	900	-	CG	Amc
Di	24	Diervilla lonicera	Bush Honeysuckle	-	600	-	900	CG	Di
Ha	20	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	-	600	-	900	CG	Ha
Po	28	Physocarpus opulifolius	Common Ninebark	-	600	-	1200	CG	Po
Pod	27	Physocarpus opulifolius 'Diablo Monio'	Diablo Ninebark	-	600	-	900	CG	Pod
Rag	169	Rhus aromatica 'Gro-Low'	Gro-Low Sumac	-	600	-	900	CG	Rag
Sj	55	Spiraea japonica 'Anthony Walker'	Anthony Walker Spiraea	-	500	-	750	CG	Sj

GRASSES & PERENNIALS

KEY	QNT	BOTANICAL NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	SPACE	COND.	KEY
ost	34	Astilbe chinensis 'Pumila'	Chinese Astilbe	-	-	1 Gallon	600	CG	ost
cok	67	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	-	-	2 Gallon	750	CG	cok
hem	56	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	-	-	1 Gallon	600	CG	hem
pen	43	Pennisetum alopecuroides 'Hamel'	Dwarf Fountain Grass	-	-	1 Gallon	600	CG	pen

*A SITE INVESTIGATION REVEALS THAT THERE ARE NO TREES EXISTING ON SITE.

SCHEDULE D



ELEVATIONS

EXTERIOR ELEVATION LEGEND	
A1	EIFS COLOUR: BENJAMIN MOORE CROMWELL GRAY, HC-103
A2	EIFS GEMSTONE BLACK MAINE
A3	EIFS COLOUR: RALPH LAUREN BOX PLEAT WHITE, RL4008
A4	STONE CLADDING FRO-FIE LEDGESTONE GREY
A5	METAL CLADDING COLOUR: RALPH LAUREN BLACK BASALT, RL4359
A6	METAL CLADDING COLOUR: RALPH LAUREN BOX PLEAT WHITE, RL4008
A7	FIBER CEMENT PANEL
A8	EXTERIOR LIGHTING
A9	WALL MOUNTED ILLUMINATED SIGNAGE AS PER BRAND STANDARD



1 EAST ELEVATION
A302 1/8" = 1'-0"

1	SPA - 1ST SUBMISSION	18 - 12 - 10
---	----------------------	--------------

Rev. Iss.	By	Description	Date YY-MM-DD
Revision / Issue Schedule			

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

DEVELOPMENT CONSULTANT:
1282 Cornwall Road
OAKVILLE, ONTARIO L6J 7W5
P: 905.337.7249

ARCHITECT:
610 FORD DRIVE, SUITE 338
OAKVILLE, ONTARIO L6J 7W4
P: 416.771.6480

CLIENT:
2445595 ONTARIO INC.
64 Honour Oak Cres
BRAMPTON, ON, L6Y 0H2



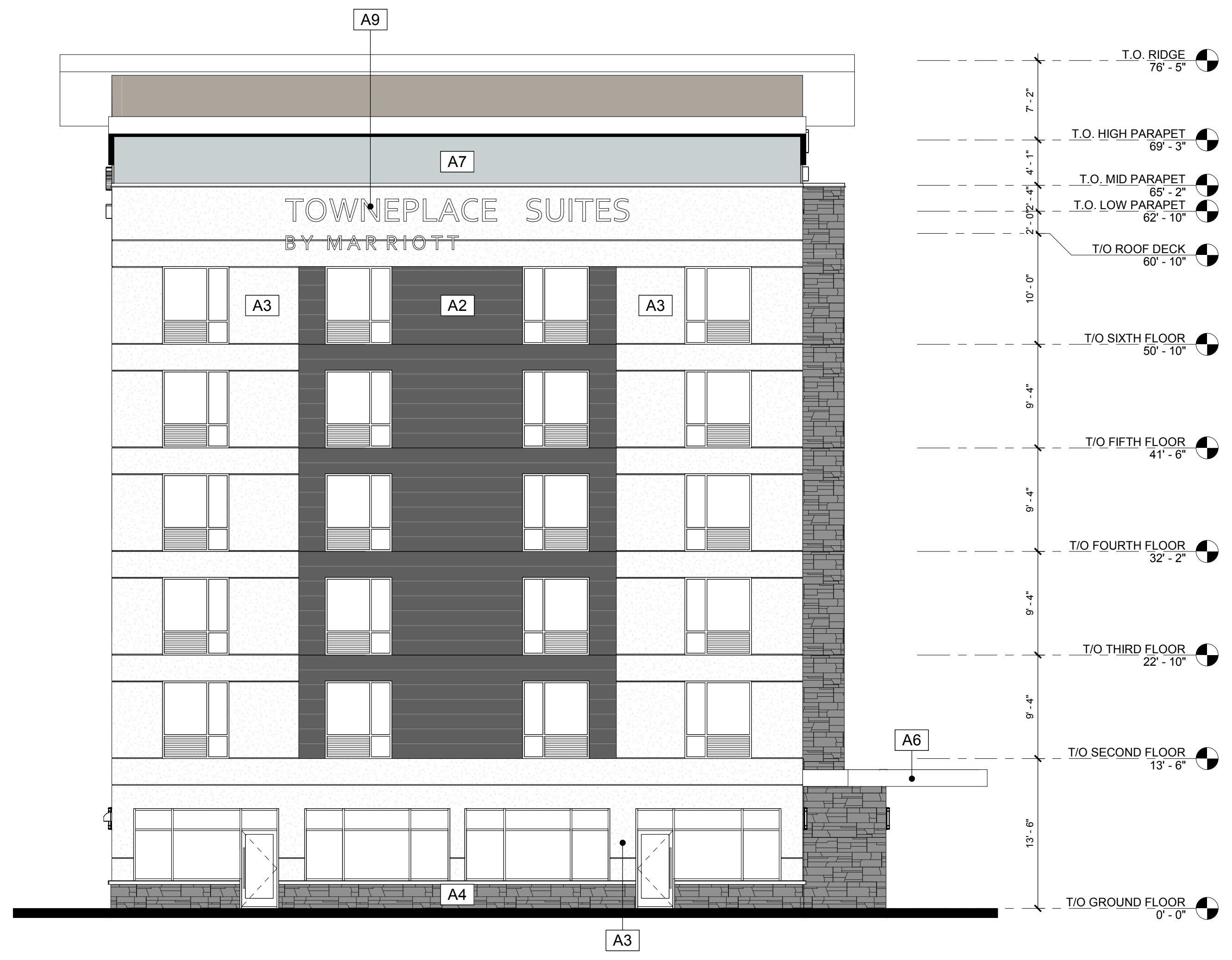
PROJECT
TOWNEPLACE SUITES BY MARRIOTT
16TH AVENUE EAST
CLOSEST MAJOR INTERSECTION: HWY NO. 26 & 16TH AVENUE EAST
OWEN SOUND, ONTARIO, CANADA

DRAWING TITLE
EAST ELEVATION

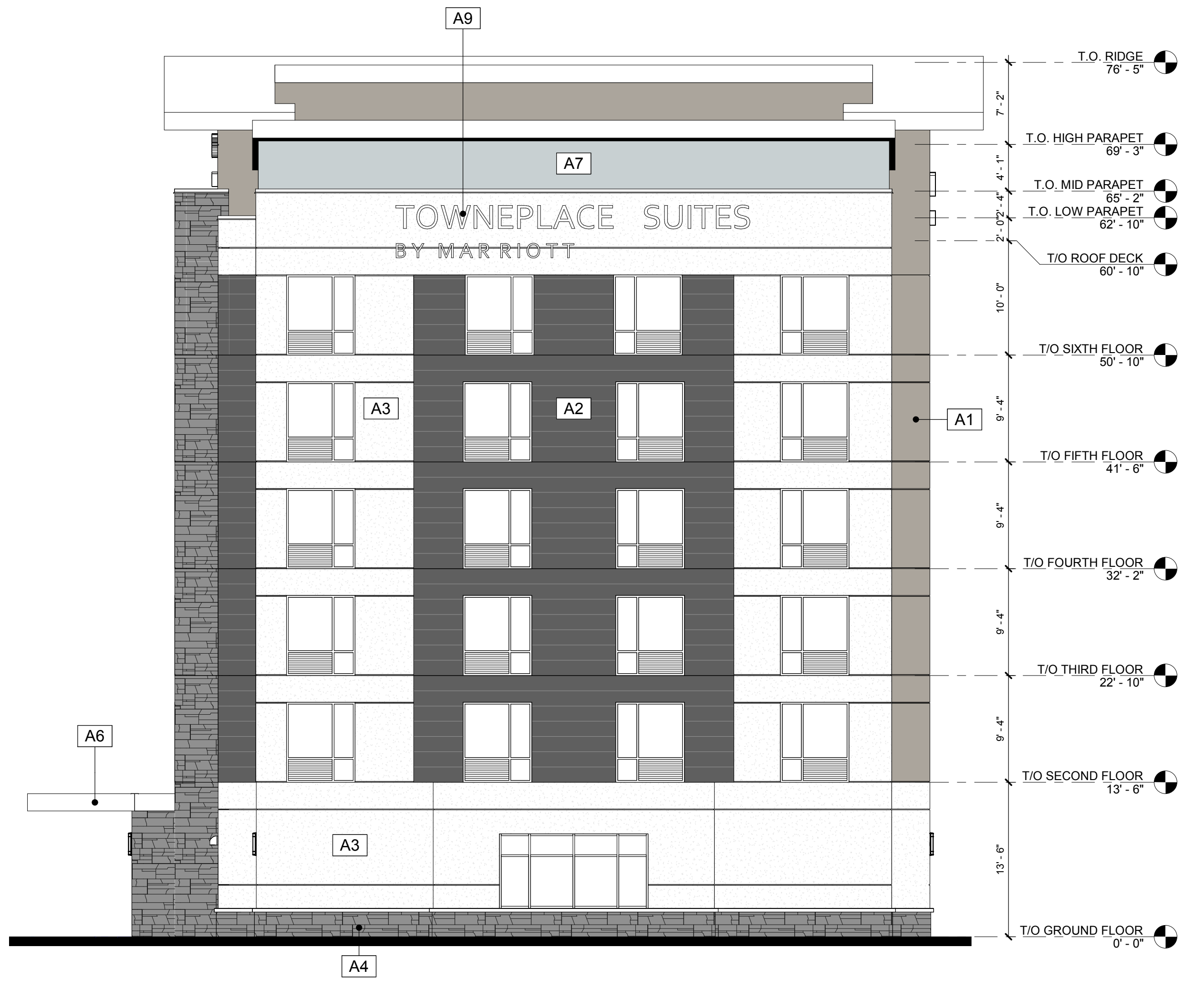
BY	CHECK	ISSUED FOR
BL	Checked	SPA - 1ST SUBMISSION
PROJECT NO.:	SHEET NO.:	
A17-066B		
SCALE:	1/8" = 1'-0"	
ISSUE DATE:	18 - 12 - 10	
A302		1 SHEET REV/ISSUE

PLOT DATE: 12/10/2018 4:19:06 PM

EXTERIOR ELEVATION LEGEND	
A1	EIFS COLOUR: BENJAMIN MOORE CROMWELL GRAY, HC-103
A2	EIFS GEMSTONE BLACK MAINE
A3	EIFS COLOUR: RALPH LAUREN BOX PLEAT WHITE, RL4008
A4	STONE CLADDING PRO-FIE LEDGESTONE GREY
A5	METAL CLADDING COLOUR: RALPH LAUREN BLACK BASALT, RL4399
A6	METAL CLADDING COLOUR: RALPH LAUREN BOX PLEAT WHITE, RL4008
A7	FIBER CEMENT PANEL
A8	EXTERIOR LIGHTING
A9	WALL MOUNTED ILLUMINATED SIGNAGE AS PER BRAND STANDARD



2 SOUTH ELEVATION
A303 1/8" = 1'-0"



1 NORTH ELEVATION
A303 1/8" = 1'-0"

1	SPA - 1ST SUBMISSION	18 - 12 - 10
---	----------------------	--------------

Rev. Iss.	By	Description	Date YY-MM-DD
Revision / Issue Schedule			

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

DEVELOPMENT CONSULTANT:
1282 Cornwall Road
OAKVILLE, ONTARIO L6J 7W5
P. 905.337.7249

ARCHITECT:
610 FORD DRIVE, SUITE 338
OAKVILLE, ONTARIO L6J 7W4
P. 416.771.6480

CLIENT:
2445595 ONTARIO INC.
64 Honour Oak Cres
BRAMPTON, ON, L6Y 0H2

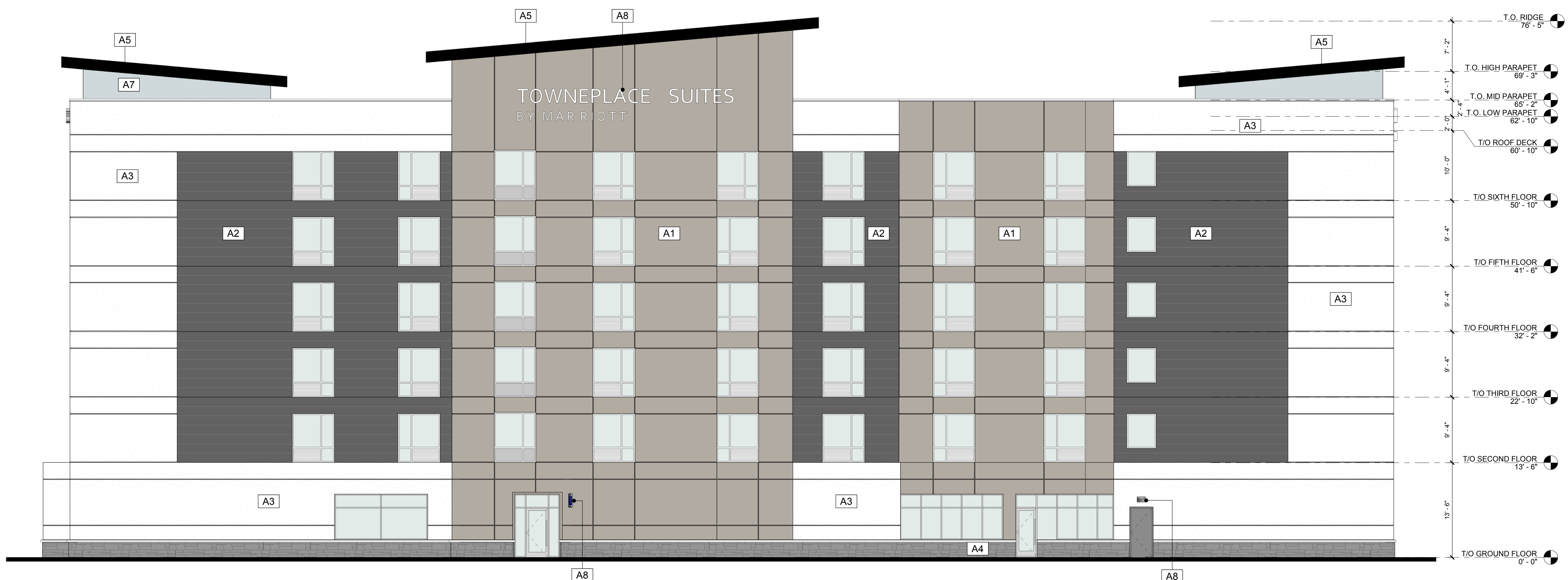
PROJECT
TOWNEPLACE SUITES BY MARRIOTT
16TH AVENUE EAST
CLOSET MAJOR INTERSECTION: HWY NO. 26 & 16TH AVENUE EAST
OWEN SOUND, ONTARIO, CANADA

DRAWING TITLE
NORTH & SOUTH ELEVATIONS

BY	CHECK	ISSUED FOR
Author	Checked	SPA - 1ST SUBMISSION
PROJECT NO.:	SHEET NO.:	
A17-066B		
SCALE:	1/8" = 1'-0"	
ISSUE DATE:	18 - 12 - 10	
A303		1 SHEET REV/ISSUE

PLOT DATE: 12/10/2018 4:19:14 PM

EXTERIOR ELEVATION LEGEND	
A1	EIFS COLOUR: BENJAMIN MOORE CROMWELL GRAY, HC-103
A2	EIFS GEMSTONE BLACK MAINE
A3	EIFS COLOUR: RALPH LAUREN BOX PLEAT WHITE, RL4008
A4	STONE CLADDING PRO-FIE LEDGESTONE GREY
A5	METAL CLADDING COLOUR: RALPH LAUREN BLACK BASALT, RL4359
A6	METAL CLADDING COLOUR: RALPH LAUREN BOX PLEAT WHITE, RL4008
A7	FIBER CEMENT PANEL
A8	EXTERIOR LIGHTING
A9	WALL MOUNTED ILLUMINATED SIGNAGE AS PER BRAND STANDARD



1 WEST ELEVATION
A301 1/8" = 1'-0"

Rev. Iss.	By	Description	Date YY-MM-DD
1		SPA - 1ST SUBMISSION	18 - 12 - 10

Revision / Issue Schedule

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

DEVELOPMENT CONSULTANT:
1282 Cornwall Road
OAKVILLE, ONTARIO L6J 7W5
P. 905.337.7249

ARCHITECT:
610 FORD DRIVE, SUITE 338
OAKVILLE, ONTARIO L6J 7W4
P. 416.771.6480

CLIENT:
2445595 ONTARIO INC.
64 Honour Oak Cres
BRAMPTON, ON, L6Y 0H2



PROJECT
TOWNEPLACE SUITES BY MARRIOTT
16TH AVENUE EAST
CLOSET MAJOR INTERSECTION: HWY NO. 26 & 16TH AVENUE EAST
OWEN SOUND, ONTARIO, CANADA

DRAWING TITLE
WEST ELEVATION

BY	CHECK	ISSUED FOR
BL	Checked	SPA - 1ST SUBMISSION
PROJECT NO:	A17-066B	SHEET NO:
SCALE:	1/8" = 1'-0"	
ISSUE DATE:	18 - 12 - 10	

A301 1 SHEET REV/ISSUE

PLOT DATE: 12/10/2018 4:19:00 PM

SCHEDULE E

MINUTES OF PUBLIC MEETING – APRIL 1, 2019

Extract from Minutes

8. PUBLIC MEETINGS

- a. Zoning By-law Amendment No. 28 - Proposed API Hotel development at 1200 16th Avenue East

Mayor Boddy declared the public meeting open at 7:03 p.m. The purpose of the public meeting is to allow the public an opportunity to comment on the proposed Zoning By-law Amendment No. 28 – Proposed API Hotel Development at 1200 6th Avenue East.

Mayor Boddy read the following notices:

- If a person or public body would otherwise have an ability to appeal the decision of The Corporation of the City of Owen Sound to the Local Planning Appeal Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to The Corporation of the City of Owen Sound before the by-law is passed, the person or public body is not entitled to appeal the decision.
- If a person or public body does not make oral submissions at a public meeting, or make written submissions to The Corporation of the City of Owen Sound before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

The City Clerk advised that notice of the public meeting was circulated to the prescribed bodies, posted on the City's website and published in the Sun Times on March 8, 2019. The City Clerk reminded those in attendance for the public meeting to sign the sign-in sheet for communication purposes and read the following notices:

- Personal Information collected at this Public Meeting is collected under the authority of the *Municipal Act, 2011* and the *Planning Act, 1990*. The information collected will be used to complete the Zoning By-law Amendment process and will form part of the public record. Questions about this collection should be addressed to the City Clerk.
- If you wish to be notified of the decision of the Corporation of the City of Owen Sound on the Proposed Zoning By-law Amendment, you must make a written request to the City of Owen Sound c/o the City Clerk.

Extract from Minutes

Dave Aston, MHBC Planning Consultant, provided an overview of the proposed Zoning By-law Amendment and surrounding land uses. Mr. Aston highlighted proposed property features including preliminary site plans, setbacks from 6th Avenue East, parking and site access, building height, and current zoning uses on the property.

Michael Barton, MBI Development Consulting Inc. (consultant for the applicant) provided additional information regarding the proposed Zoning By-law Amendment including impacts on the local economy, current holding symbol on the property, parking and building elevations.

Allan Pearson of Owen Sound provided comments with respect to the impact on the 10th Street East Extension, the proximity of the proposed development to the East Ridge Primary School, and the limited availability of parking on site.

Peter Reid of Georgian Bluffs expressed concerns related to the number of proposed accessible parking spots on the site.

There being no other speakers, Mayor Boddy declared the public meeting closed at 7:31 p.m.

SCHEDULE F

CONDITIONS OF APPROVAL

1) That prior to finalization of the Site Plan Agreement, modification of the site plan package be required to include the following to the satisfaction of the City:

- a. That TWSI plates be red, cast iron per City Standards be provided where there is a change in grade from the on-site sidewalk to the drive aisles and parking areas.
- b. That revised submission materials (plans, studies, drawings) be submitted to the City as required to capture additional items arising out of ongoing project due diligence to the satisfaction of the Community Services Department and the Engineering and Public Work Department.
- c. That a capital contribution of \$43,096.49 be received prior to the execution of the site plan agreement.
- d. That on-site LED lighting should be specified with a colour temperature (CCT) of 3000K (warm white). The lighting will be downward facing and dark-sky compliant.
- e. That the applicant is requested to consider the installation of benches intermittently along the interior paths of travel for pedestrian rest areas.

2) That the Owner enter into a Site Plan Agreement with the City, which will be registered on title, requiring among other matters:

- a. Provision of Security in the amount of \$30,000.
- b. Provision of a two-year timeframe for completion of all works with the final dates to be specified in the Site Plan Agreement.
- c. That a Street Occupation Permit and Special Services Application be obtained prior to any work on City-owned property.
- d. That prior to the issuance of a Building Permit:
 - i. Payment of the Engineering Review Fee.
 - ii. Payment of a Capital Contribution of \$43,096.49 for the construction of 16th Avenue East.