

NOTES:
 PROPOSED C/L ROAD GRADES ON 27th AVENUE EAST ARE DERIVED FROM PREVIOUSLY APPROVED PLANS UNDER THE SUBDIVISION AGREEMENT.

- LEGEND
- 221.0 --- EXISTING GROUND CONTOUR
 - 227.00 --- EXISTING ELEVATION
 - 221.00 --- PROPOSED ELEVATION
 - HYD --- PROPOSED HYDRANT (PER SUB'DN PLANS)
 - LS --- PROPOSED LIGHT STANDARD (PER SUB'DN PLANS)
 - --- PROPOSED SWALE/DITCH
 - --- PROPOSED CHAIN LINK FENCE
 - --- PROPOSED GUIDERAIL
 - --- DIRECTION OF SURFACE FLOW

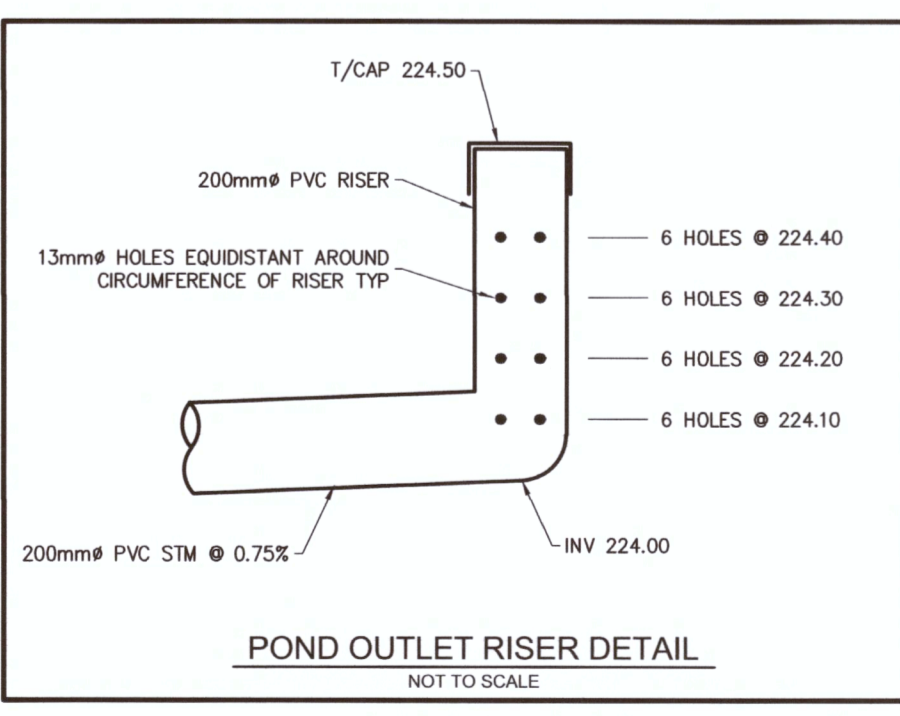
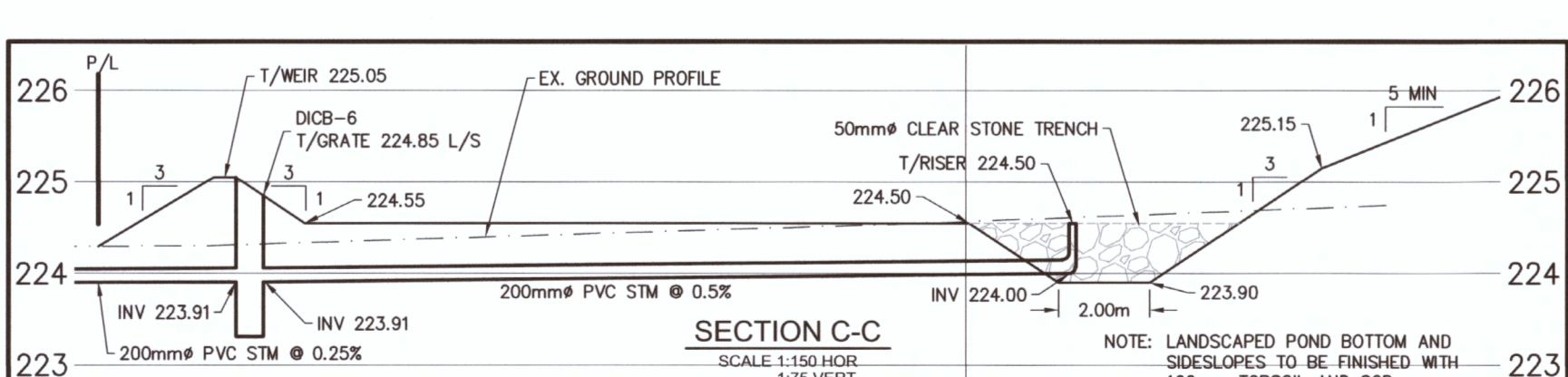
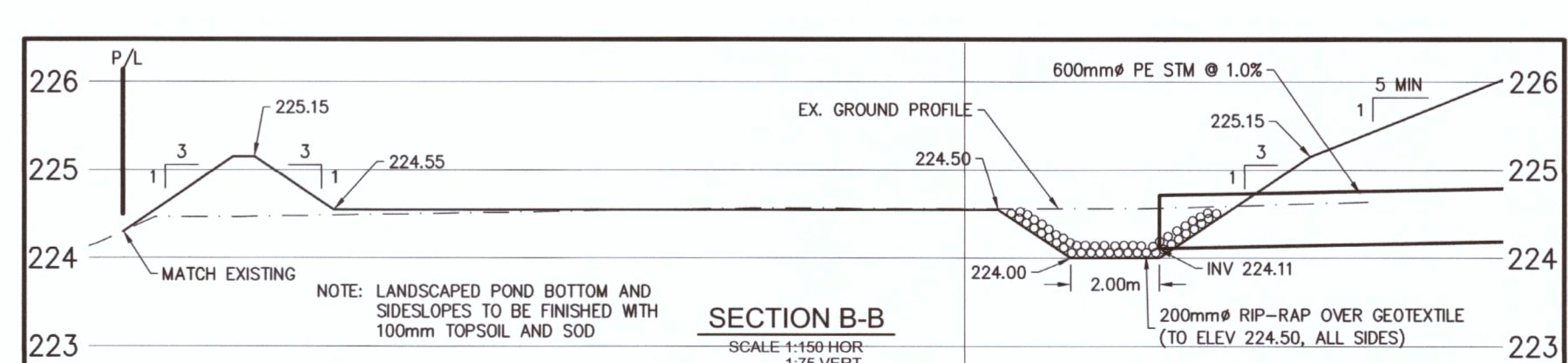
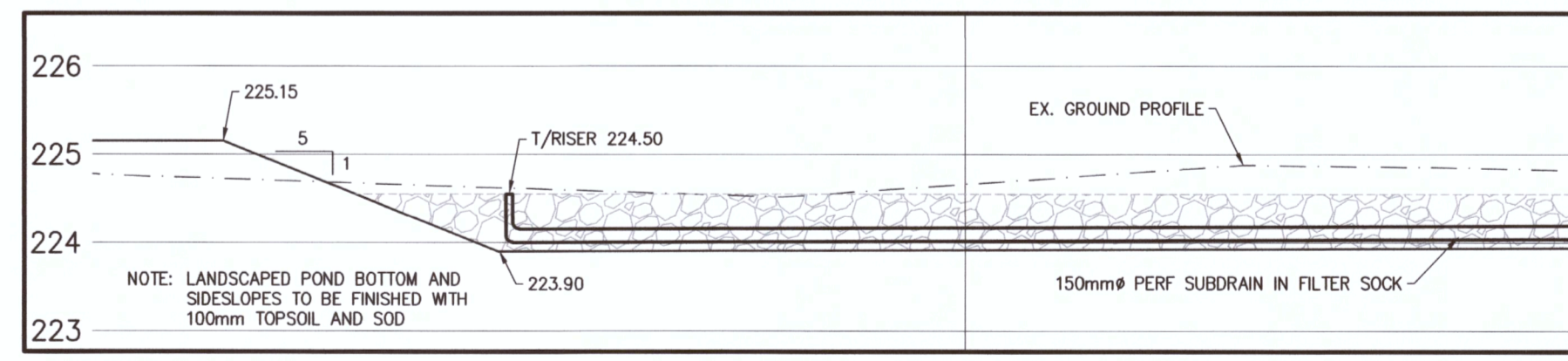
BENCHMARK 1 ELEV. - 229.94m
 TOP OF B/L LOCATED ON THE SOUTH EAST CORNER OF PART 4, PLAN 16M-44.

BENCHMARK 2 ELEV. - 224.24m
 TOP OF S/B LOCATED ON THE NORTH EAST CORNER OF PART 4, PLAN 16M-44.

THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND, WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED.



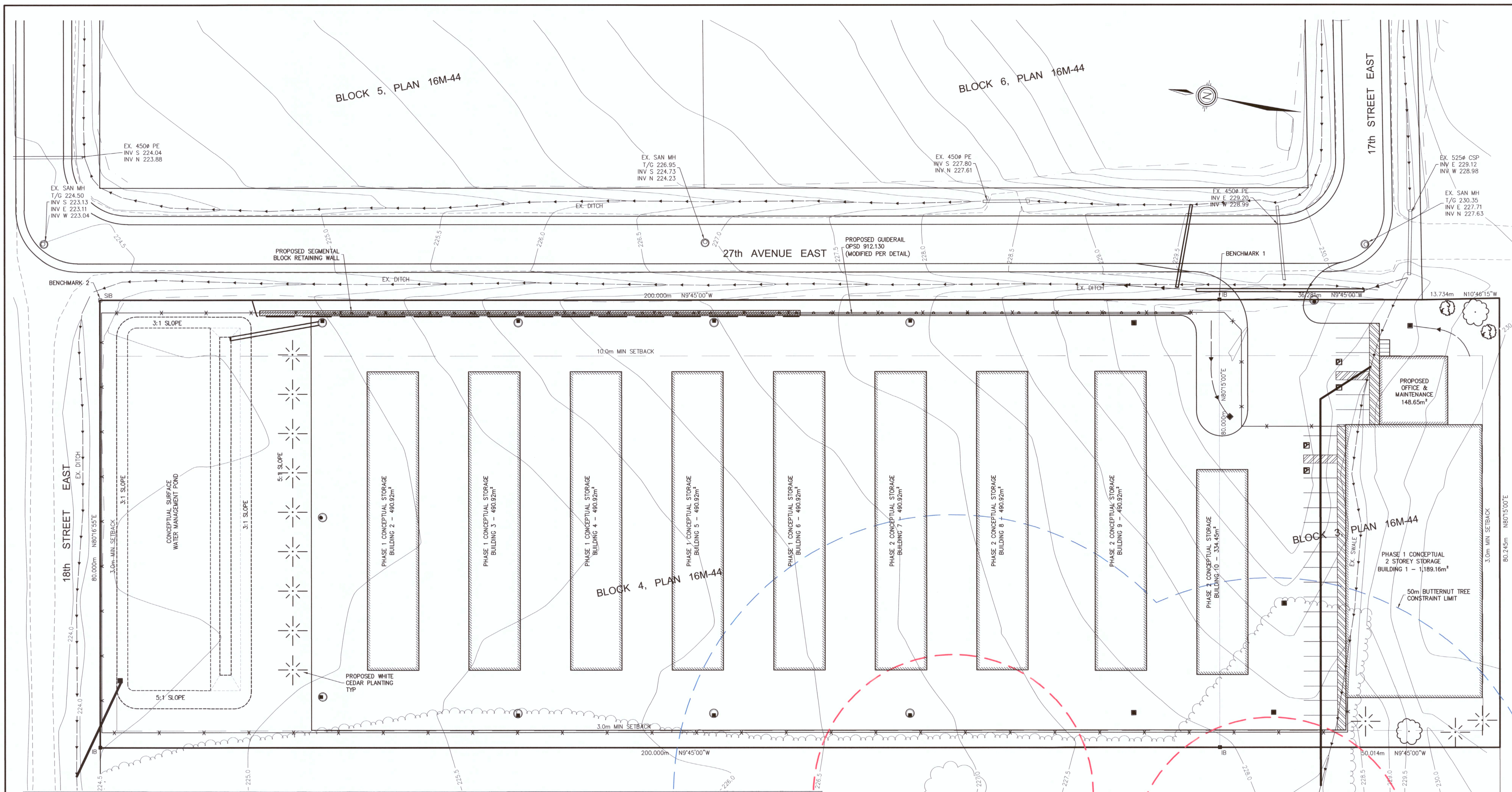
NO.	DATE	REVISION DESCRIPTION	CHKD
1	NOV 30/22	ISSUED FOR SITE PLAN APPROVAL	J.B.S.



BLOCKS 3 & 4 DEVELOPMENT
EAST RIDGE BUSINESS PARK
ANDPET REALTY
GRADING & DRAINAGE PLAN

DRAWN BY: E.J.T.	APPROVED BY: J.B.S.	PROJECT NO.: 221210	DRAWING NO.: 3
DESIGNED BY: E.J.T.	DATE: NOV 30, 2022	SCALE: 1:400	

FILE: C:\owensound\221210\dwg\221210.dwg LAYOUT: GRADING AND DRAINAGE PLAN DATE: 11/30/22 11:03:23 AM PLOT: 11/30/22 11:03:23 AM PLOT: 11/30/22 11:03:23 AM



- NOTES :**
- EXISTING GROUND CONTOUR
 - PROPOSED SWALE/DITCH
 - PROPOSED CHAIN LINK FENCE
 - PROPOSED GUIDEWAY
 - TYPICAL WHITE CEDAR PLANTING
 - TYPICAL AUTUMN BLAZE MAPLE PLANTING
 - TYPICAL SERVICEBERRY PLANTING

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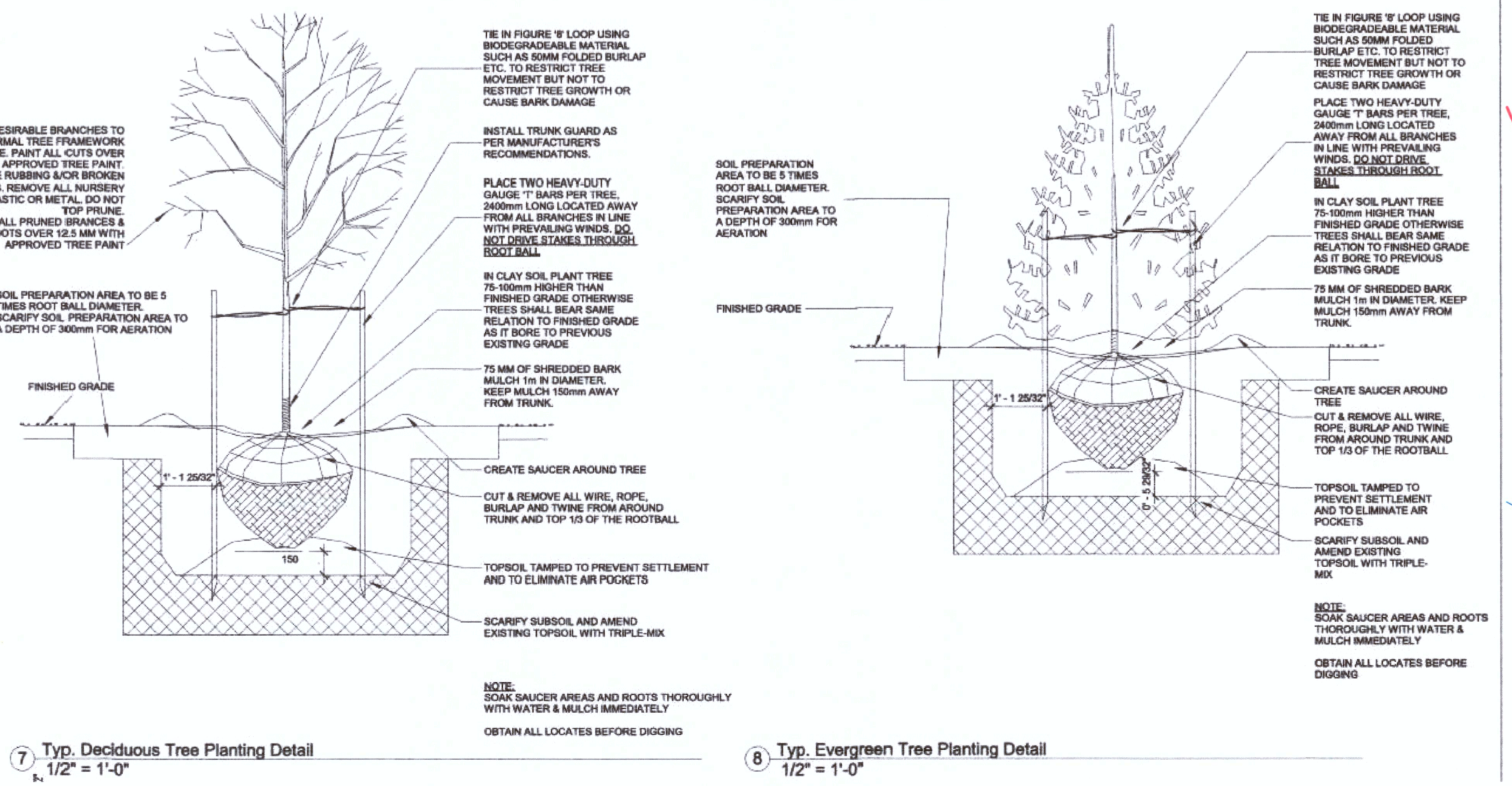
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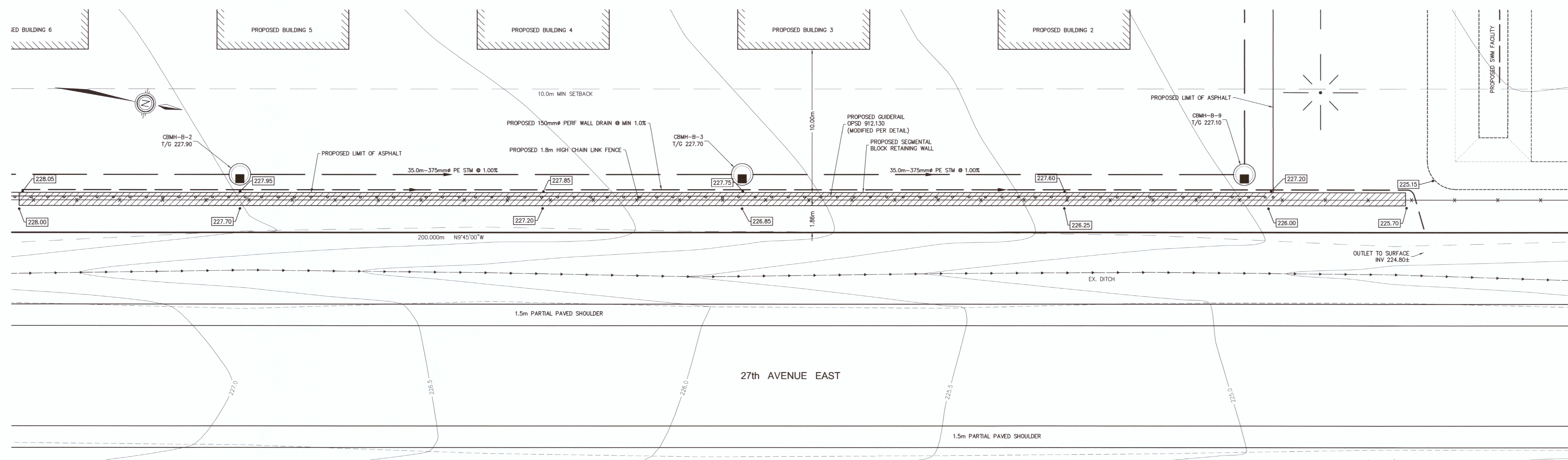
GUELPH | OWEN SOUND | LISTOWEL | HITCHER | LONDON | HAMILTON | GTA
1260 2ND AVENUE EAST, UNIT 1, OWEN SOUND, ON N4K 2J3
TEL: 519-376-1805 www.blueplan.ca

BLOCK 4 DEVELOPMENT
EAST RIDGE BUSINESS PARK
ANDPET REALTY
LANDSCAPE PLAN

DRAWN BY :	APPROVED BY :	PROJECT NO. :	DRAWING NO. :
E.J.T.	J.B.S.	221210	4
DESIGNED BY :	DATE :	SCALE :	
E.J.T.	NOV 30, 2022	1:400	



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PLOT: 22102.dwg



- NOTES:**
- RETAINING WALL BLOCKS SHOWN AS PER BLOCK DETAIL.
 - MINIMUM BURY DEPTH OF 0.3m FROM FINISHED GRADE TO BE MAINTAINED AT TOE OF WALL.

PLAN VIEW
SCALE 1:150

LEGEND

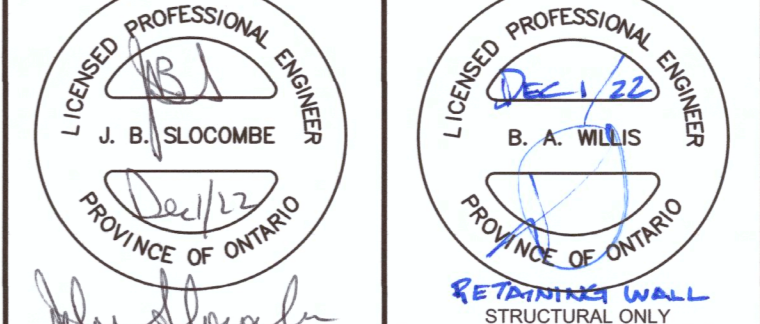
221.0	EXISTING GROUND CONTOUR
221.00	PROPOSED ELEVATION

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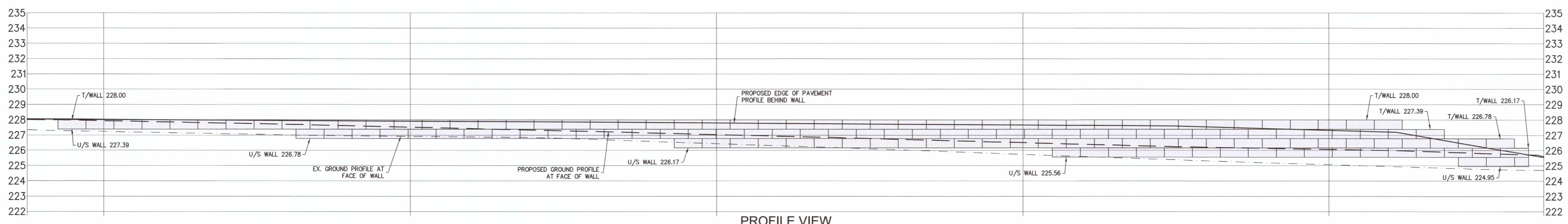


1	NOV 30/22	ISSUED FOR SITE PLAN APPROVAL	J.B.S.
NO.	DATE	REVISION DESCRIPTION	CHKD

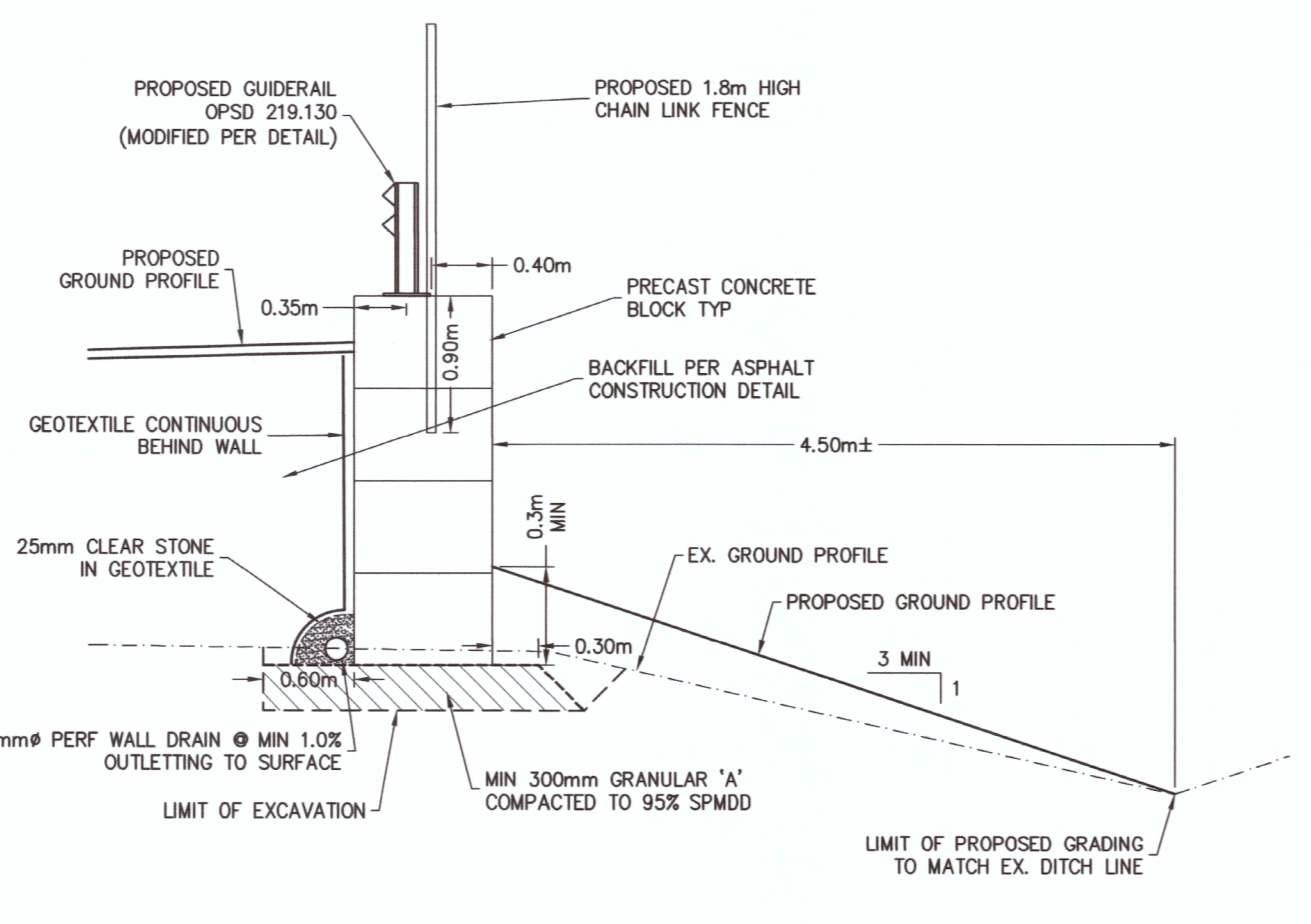


BLOCKS 3 & 4 DEVELOPMENT
EAST RIDGE BUSINESS PARK
ANDPET REALTY
RETAINING WALL DETAILS

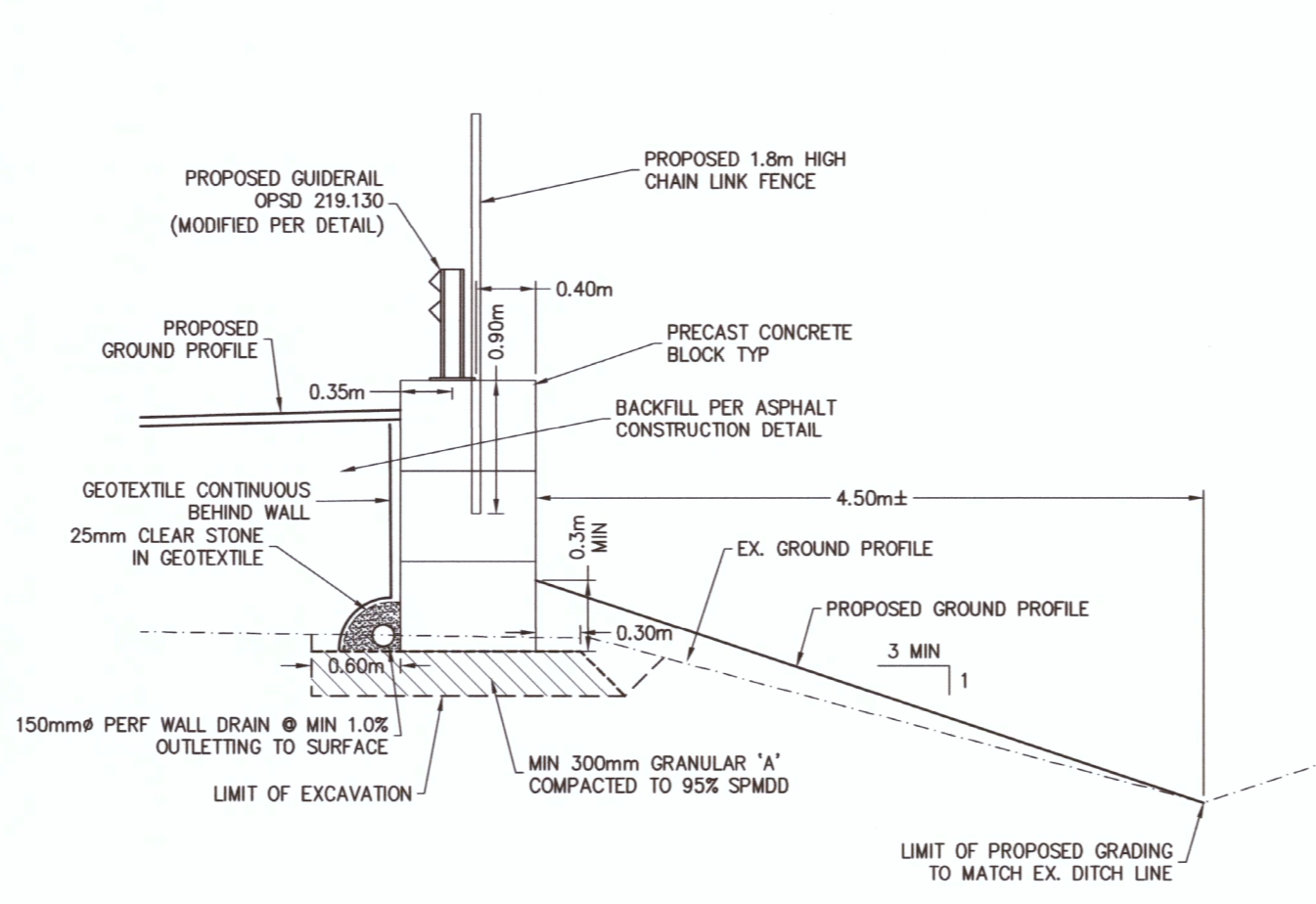
DRAWN BY:	APPROVED BY:	PROJECT NO.:	DRAWING NO.:
E.J.T.	B.A.W.	221210	5
DESIGNED BY:	DATE:	SCALE:	
E.J.T.	NOV 30, 2022	AS NOTED	



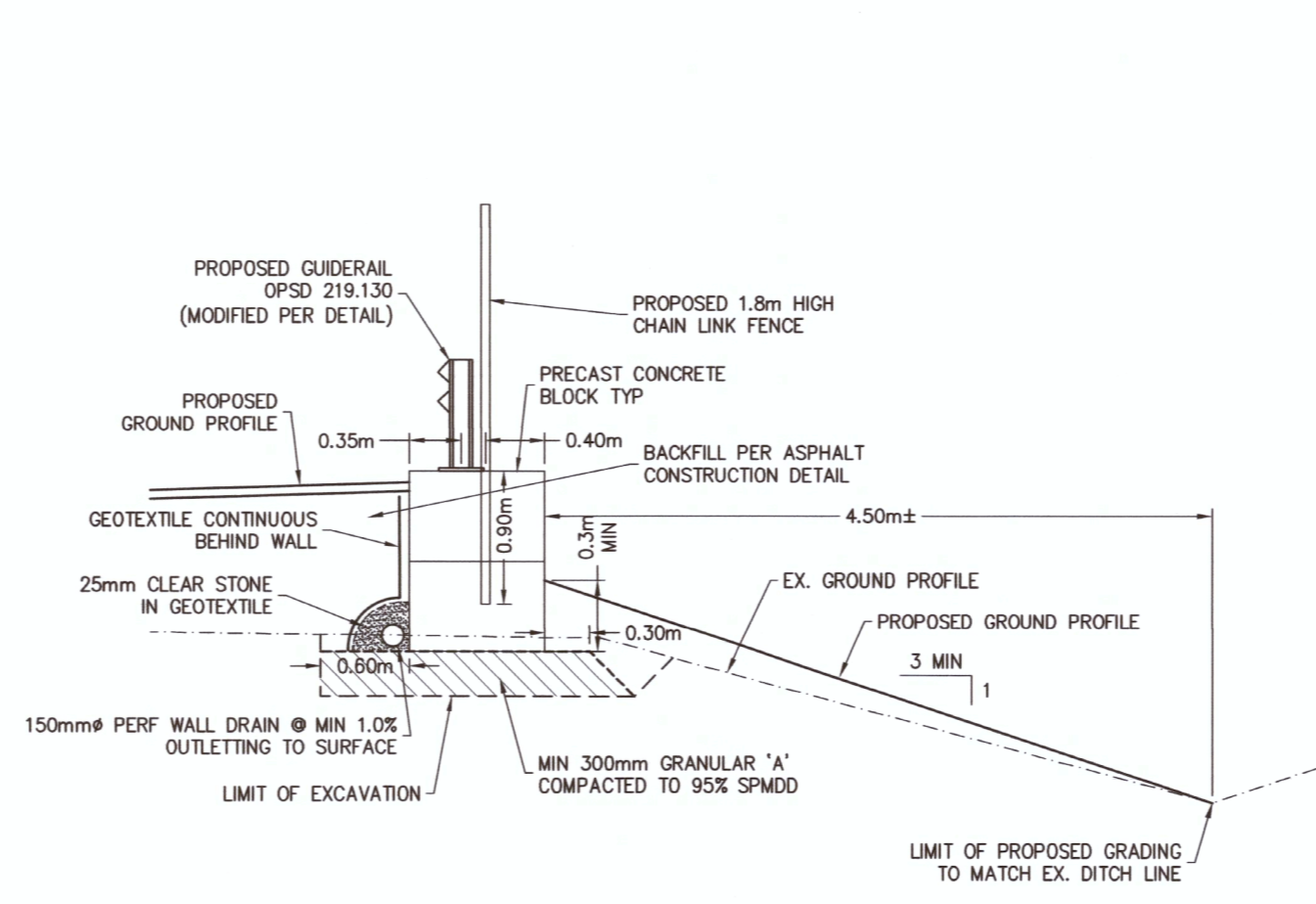
PROFILE VIEW
SCALE 1:150



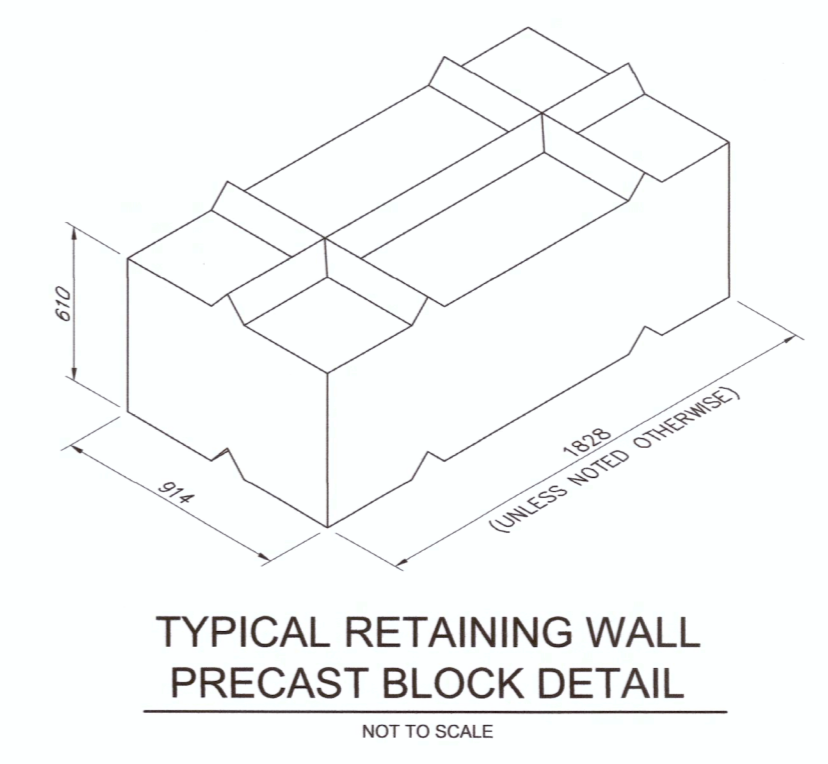
TYPICAL RETAINING WALL SECTION - 4 COURSES
SCALE 1:50



TYPICAL RETAINING WALL SECTION - 3 COURSES
SCALE 1:50

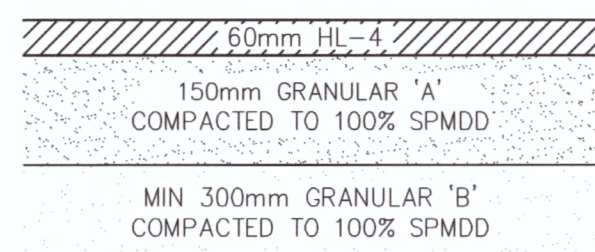


TYPICAL RETAINING WALL SECTION - 2 COURSES
SCALE 1:50



TYPICAL RETAINING WALL PRECAST BLOCK DETAIL
NOT TO SCALE

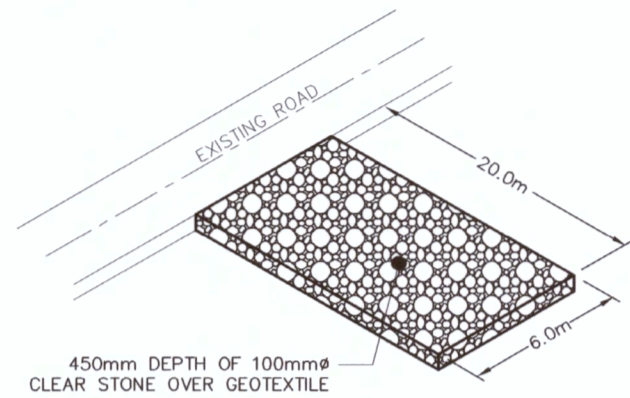
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COMPACTED GRANULAR MATERIAL OR APPROVED NATIVE FILL

TYPICAL ASPHALT PARKING LOT CONSTRUCTION DETAIL

NOT TO SCALE



TYPICAL MUDMAT CONSTRUCTION DETAIL

NOT TO SCALE

NOTES :

GENERAL

ALL DIMENSIONS AND ELEVATIONS IN METRIC UNLESS OTHERWISE NOTED.
TOPOGRAPHIC SURVEY COMPLETED BY GM BLUEPLAN ENGINEERING ON JUNE 8, 2021.
PROPERTY BOUNDARIES SHOWN DERIVED FROM PLAN 16M-44, COMPLETED BY HEWITT & MILNE LIMITED ON MAY 21, 2013.
REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS AND REPORT ANY DISCREPANCIES.

LOCATIONS OF EXISTING SERVICES ARE APPROXIMATE, AND SHALL BE CONFIRMED PRIOR TO ANY ASSOCIATED EXCAVATION.
ACCESSIBLE PARKING SPACES TO BE CONSTRUCTED IN ACCORDANCE WITH AODA AND CITY OF OWEN SOUND STANDARDS.

ALL WASTE AND RECYCLING RELATED TO SITE MANAGEMENT AND DAILY OPERATIONS WILL BE STORED INSIDE THE BUILDING. NO WASTE DISPOSAL SERVICE WILL BE PROVIDED FOR THE INDIVIDUAL RENTAL UNITS.

BICYCLE PARKING WILL BE PROVIDED ON SITE, AS SHOWN.

SITE LIGHTING IS TO BE WALL-MOUNTED AND PLACED ON SIDE OF BUILDINGS. THE DIRECTION OF LIGHT SHOULD ALLOW MINIMAL TO NO LIGHT AND GLARE ON ADJOINING PROPERTIES.

ALL TOPSOIL TO BE STRIPPED FROM PARKING LOT AREAS AND STOCKPILED ON SITE AND BE USED FOR FINAL LANDSCAPING. SURPLUS TOPSOIL TO BE REMOVED BY THE CONTRACTOR.

ALL LANDSCAPED AREAS WITHIN SUBJECT LANDS TO BE FINISHED WITH 100mm TOPSOIL AND HYDRATED, UNLESS OTHERWISE NOTED. DISTURBED AREAS WITHIN CITY ROW TO BE FINISHED WITH 100mm TOPSOIL AND SOIL.

PARKING SPACES TO BE PAINTED WITH YELLOW LINE PAINT 100mm WIDE.

ACCESSIBLE PARKING SYMBOLS TO BE PAINTED AS PER CITY OF OWEN SOUND STANDARDS.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL INSPECTIONS, PERMITS AND CERTIFICATES.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF OWEN SOUND STANDARDS, OPS&S AND OBC.

CONTRACTOR/OWNER TO OBTAIN PERMISSION FROM NEIGHBOURING LAND OWNERS TO CROSS PROPERTY BOUNDARY FOR ANY REQUIRED SITE WORKS.

CONSTRUCTION

THE CITY MUST BE NOTIFIED A MINIMUM OF TWO WORKING DAYS PRIOR TO ANY WORK ON A CITY STREET AND APPROPRIATE PERMITS ARE TO BE IN PLACE. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A STREET OCCUPANCY PERMIT AS NECESSARY.

INSPECTIONS: ALL WORK ON THE CITY RIGHT OF WAY AND EASEMENTS TO BE INSPECTED BY CITY FORCES PRIOR TO BACKFILLING. ALL WORK RELATING TO WATERMANS AND SEWERS TO BE INSPECTED BY CITY FORCES WHEN REQUIRED BY THE CITY.

FOR THE WATER SERVICE INSTALLATION, THE CONTRACTOR SHALL PROVIDE EXCAVATION, TRAP, CONTROL, AND ALL MATERIALS FOR LINE TAPPING OF THE EXISTING WATERMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RESTORATION WORK REQUIRED.

TRANSITIONS WITHIN THE SUBGRADE WITHIN 1.2m FROM THE TOP OF PAVEMENT SHOULD INCLUDE 3H:1V TRANSITIONS.

CONTRACTOR IS RESPONSIBLE TO HAVE IN PLACE EROSION AND SEDIMENT CONTROLS TO KEEP DOWN STREAM DITCHES/SWALES AND CULVERTS FREE FROM ACCUMULATED SEDIMENT PRIOR TO CONSTRUCTION AND DURING ACTIVITY UNTIL VEGETATION IS WELL TAKEN AND PAVING IS COMPLETE.

CONTRACTOR TO ENSURE THAT EXPOSED SLOPES ARE SUFFICIENTLY STABILIZED DURING CONSTRUCTION.

THE CONTRACTOR IS TO TEST SEWERS IN ACCORDANCE WITH THE OBC.

ALL LINE PAINTING AND SYMBOLS SHALL BE APPLIED WITH A MINIMUM OF TWO COATS OF ORGANIC SOLVENT BASED PAINT IN ACCORDANCE WITH OPS: 17.2.

ALL WORK SHALL BE CARRIED OUT IN COMPLIANCE WITH THE APPLICABLE HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.

ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE CITY OF OWEN SOUND, OBC, OPS&S AND OPSD.

THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL ARRANGE FOR ALL EXISTING UTILITIES TO BE LOCATED AND VERIFIED BY EACH UTILITY PRIOR TO COMMENCEMENT OF WORK. ANY VARIANCE IS TO BE IMMEDIATELY REPORTED TO THE ENGINEER. LOST TIME DUE TO FAILURE OF THE CONTRACTOR TO CONFIRM UTILITY LOCATIONS AND NOTIFY THE ENGINEER OF CONFLICTS PRIOR TO CONSTRUCTION WILL BE AT THE CONTRACTOR'S EXPENSE.

CONCRETE TO BE 30MPa WITH 7% 1.5% AIR ENTRAINMENT.

ALL TRENCH BACKFILL TO BE GRANULAR, COMPACTED TO 95% SPMD BELOW SUBBASE AND 100% SPMD FOR SUBBASE AND BASE.

CONTRACTOR SHALL GRADE AND COMPACT EXISTING FILL MATERIAL PRIOR TO PLACING PARKING LOT GRANULARS.

CONTRACTOR SHALL GRADE AND COMPACT EXISTING FILL MATERIAL PRIOR TO PLACING PARKING LOT GRANULARS.

SEWERS

MANHOLES AND CATCH BASIN MANHOLES TO BE PER OPSD 701.010.

CATCH BASINS TO BE PER OPSD 705.010.

DITCH INLET CATCH BASIN TO BE PER OPSD 705.030 WITH 3:1 GRATING PER OPSD 403.010.

PIPE BEDDING PER OPSD 802.010, WITH GRANULAR 'A' BEDDING AND COVER.

SEWER INSTALLATION AND TESTING PER OPS 410 AND OBC.

ALL STORM SEWERS TO BE HDPE PS320 OR PVC DR-28 SMOOTH WALL OR APPROVED EQUIVALENT.

WATERMANS

ALL WATERMANS AND WATER SERVICES TO HAVE 1.8m MINIMUM COVER TO OBVERT OF PIPE.

INDIVIDUAL WATER METER AND DOUBLE CHECK VALVES AS PER CITY STANDARDS.

WATERMAIN INSTALLATION, TESTING AND WORKMANSHIP PER CITY OF OWEN SOUND STANDARDS AND OPS 701.

CONTRACTOR TO PERFORM WATERMAIN TAPPING. CITY WATER DEPARTMENT TO BE NOTIFIED A MINIMUM OF 2 DAYS PRIOR TO TAPPING.

IN THE EVENT OF A PLANNED SERVICE INTERRUPTION, THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 48 HOURS NOTICE TO ALL AFFECTED CUSTOMERS.

CONCRETE THRUST BLOCKS AS PER OPSD 1103.010 (MODIFIED) TO BE INSTALLED ON ALL HORIZONTAL BENDS.

CONCRETE THRUST BLOCKS AS PER OPSD 1103.020 (MODIFIED) TO BE INSTALLED ON ALL VERTICAL BENDS.

CONCRETE THRUST BLOCKS AS PER OPSD 1105.010 (MODIFIED) TO BE INSTALLED ON ALL FIRE HYDRANTS.

ALL BELL AND SPIGOT JOINTS TO BE RESTRAINED PER MANUFACTURER'S SPECIFICATIONS.

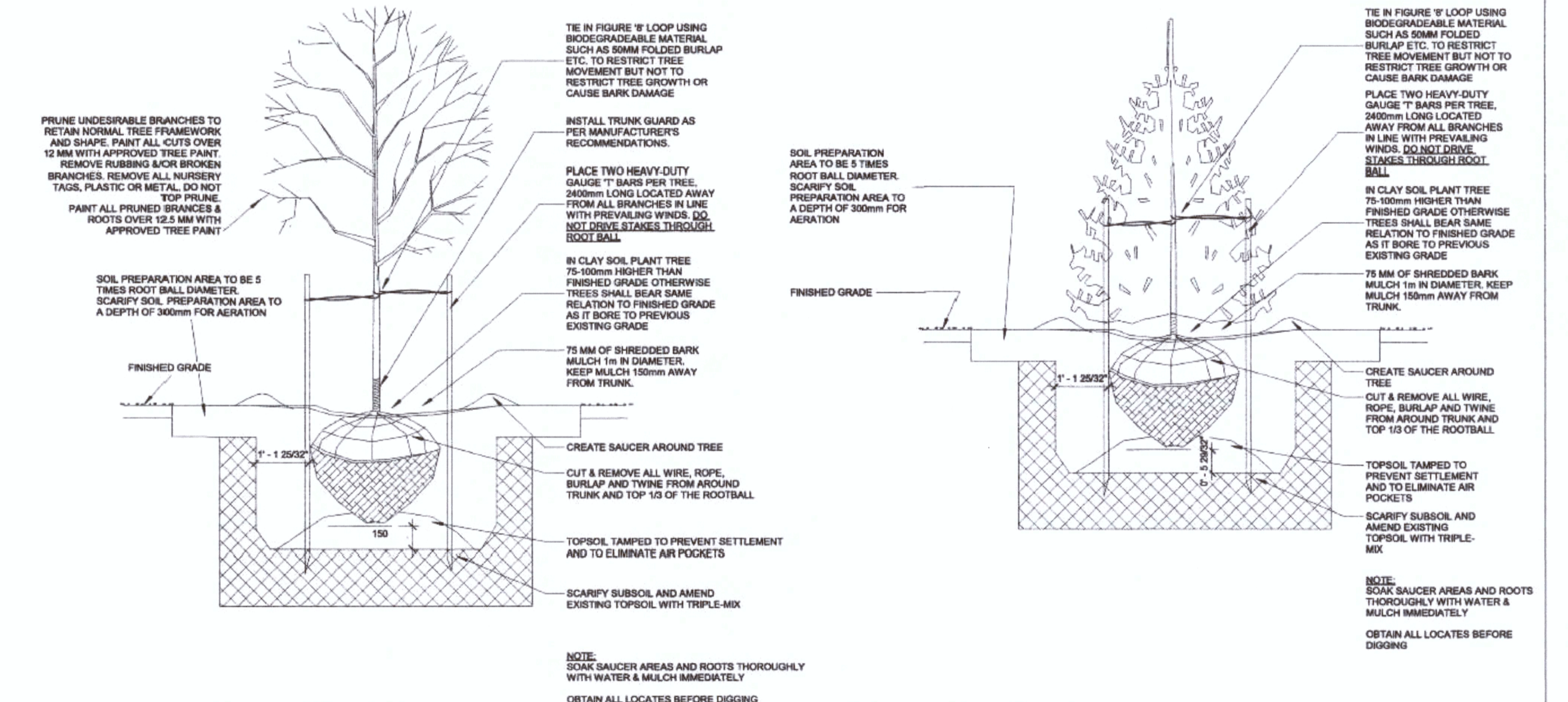
MECHANICAL JOINTS (GRIP RINGS) TO BE PROVIDED AT ALL FITTING CONNECTIONS.

ALL INSTALLATION AND TESTING TO OBC, NFPA 24, AND TOWN STANDARDS.

THE CONTRACTOR SHALL VERIFY THE SOIL AND GROUNDWATER CONDITIONS AND SHALL PROVIDE APPROPRIATE DRAINAGE FROM THE FIRE HYDRANT AS PER NFPA 24-7.3.

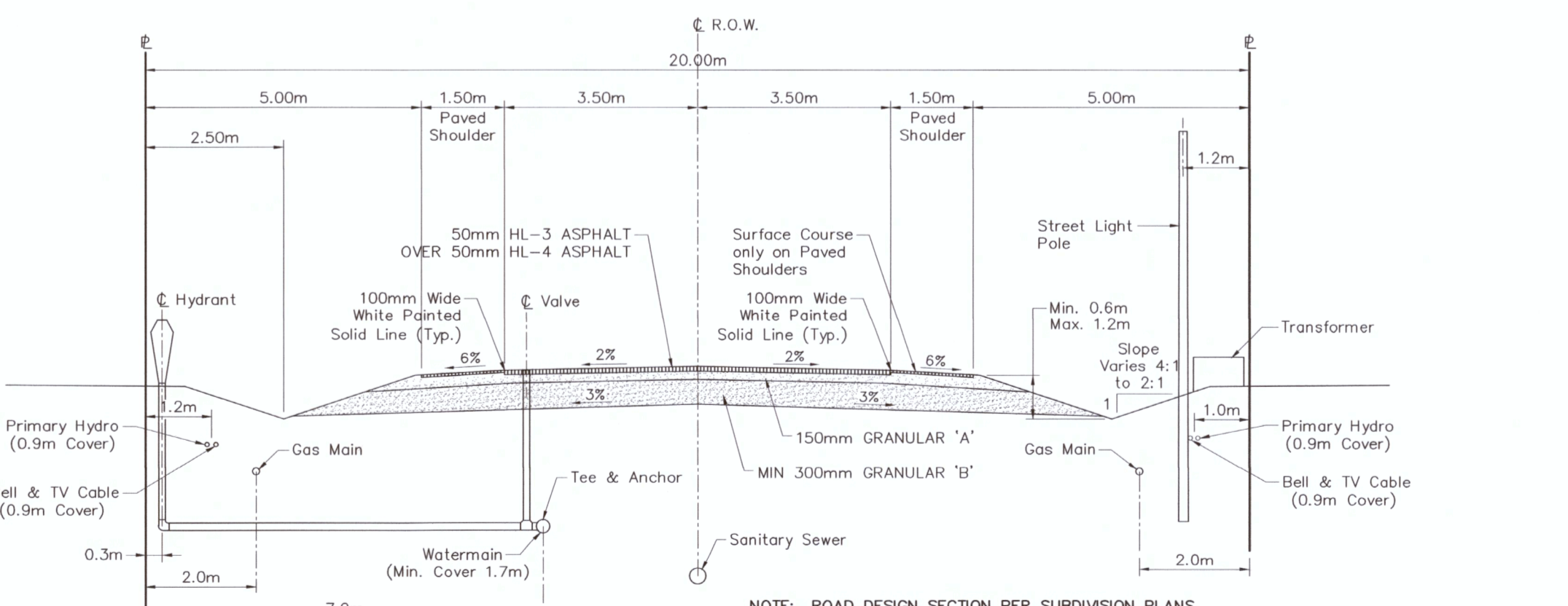
PIPE MATERIAL TO BE AWWA C900 DR18 PRESSURE CLASS 235psi, FM APPROVED FOR 150PSI.

CONTRACTOR TO COMPLETE TESTING AND CONTRACTOR'S MATERIAL AND TEST CERTIFICATE FOR UNDERGROUND PIPING IN ACCORDANCE WITH NFPA 24-10.10



7. Typ. Deciduous Tree Planting Detail
1/2" = 1'-0"

8. Typ. Evergreen Tree Planting Detail
1/2" = 1'-0"

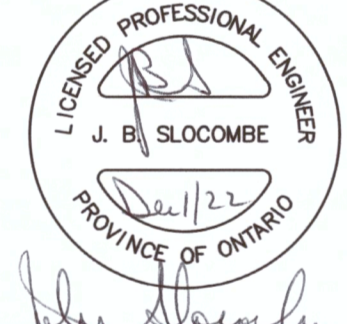


TYPICAL 27th AVENUE EAST ROAD SECTION

NOT TO SCALE

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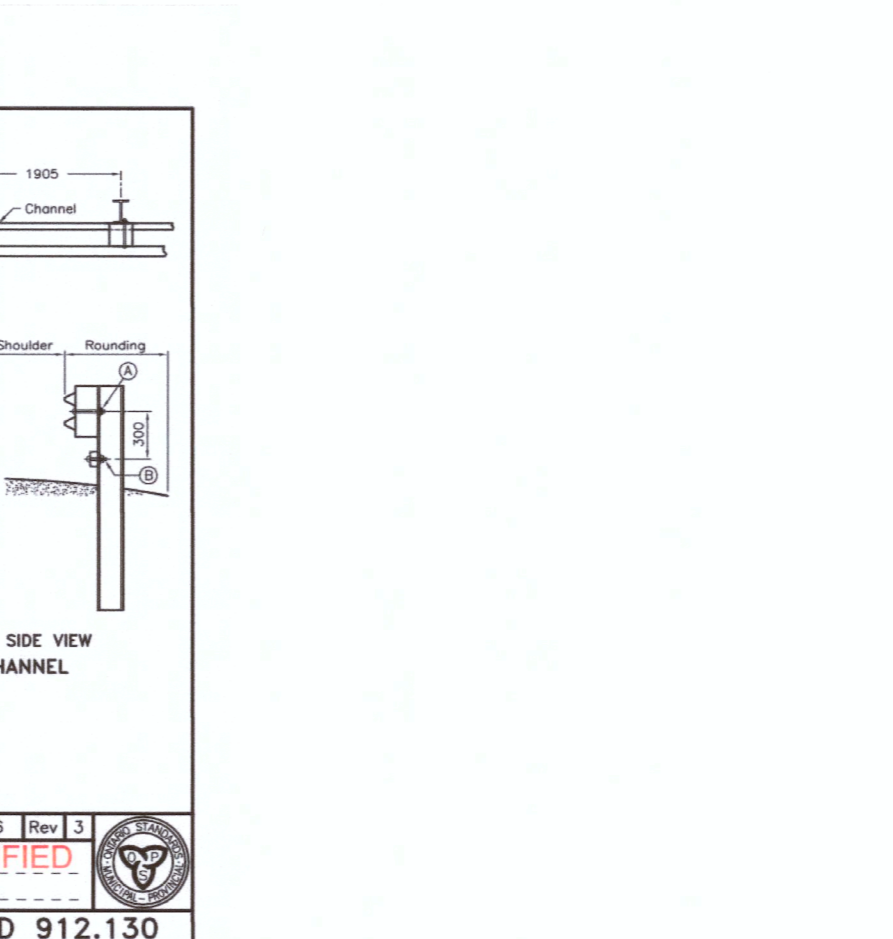
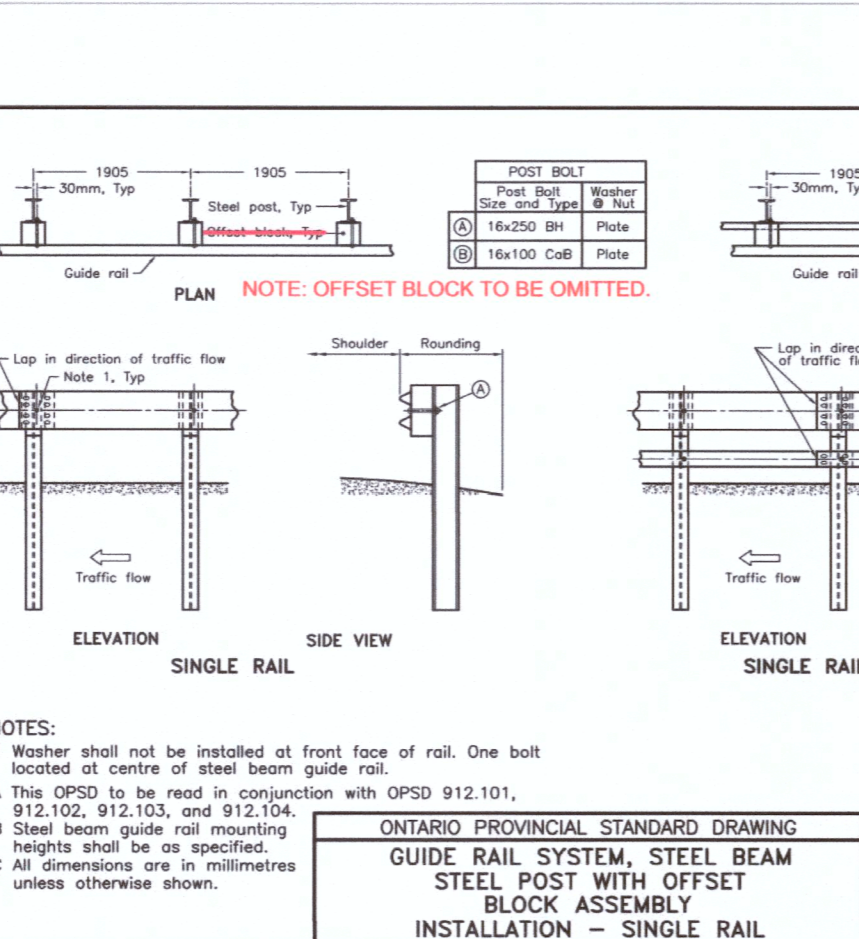
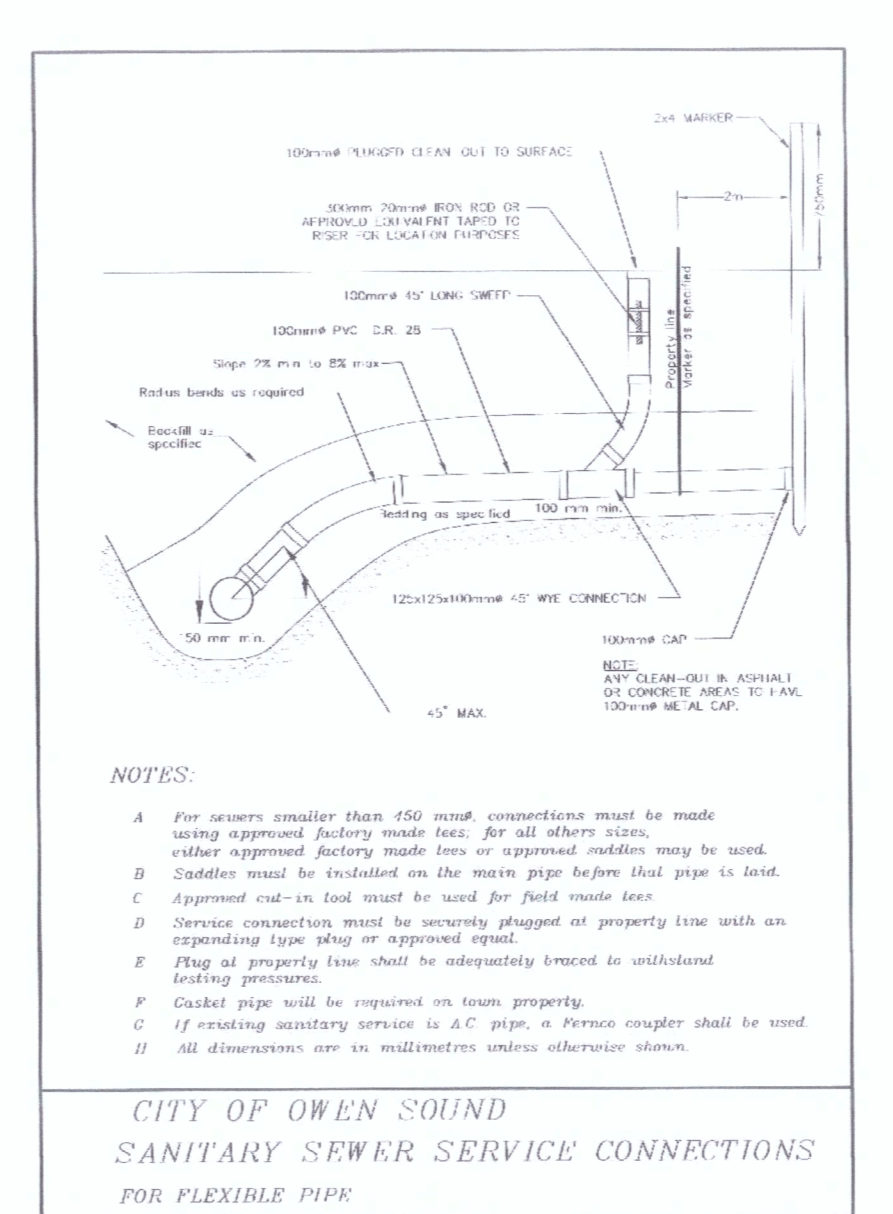
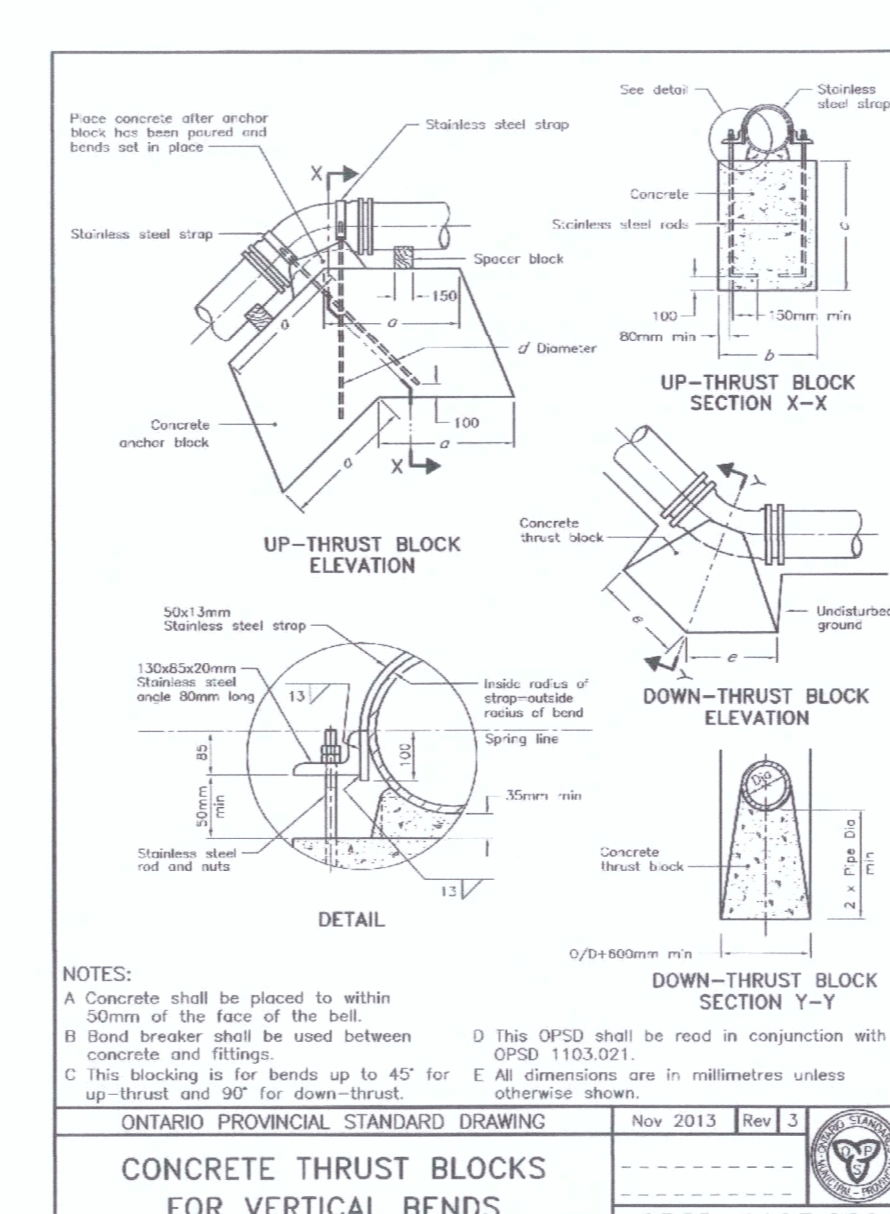
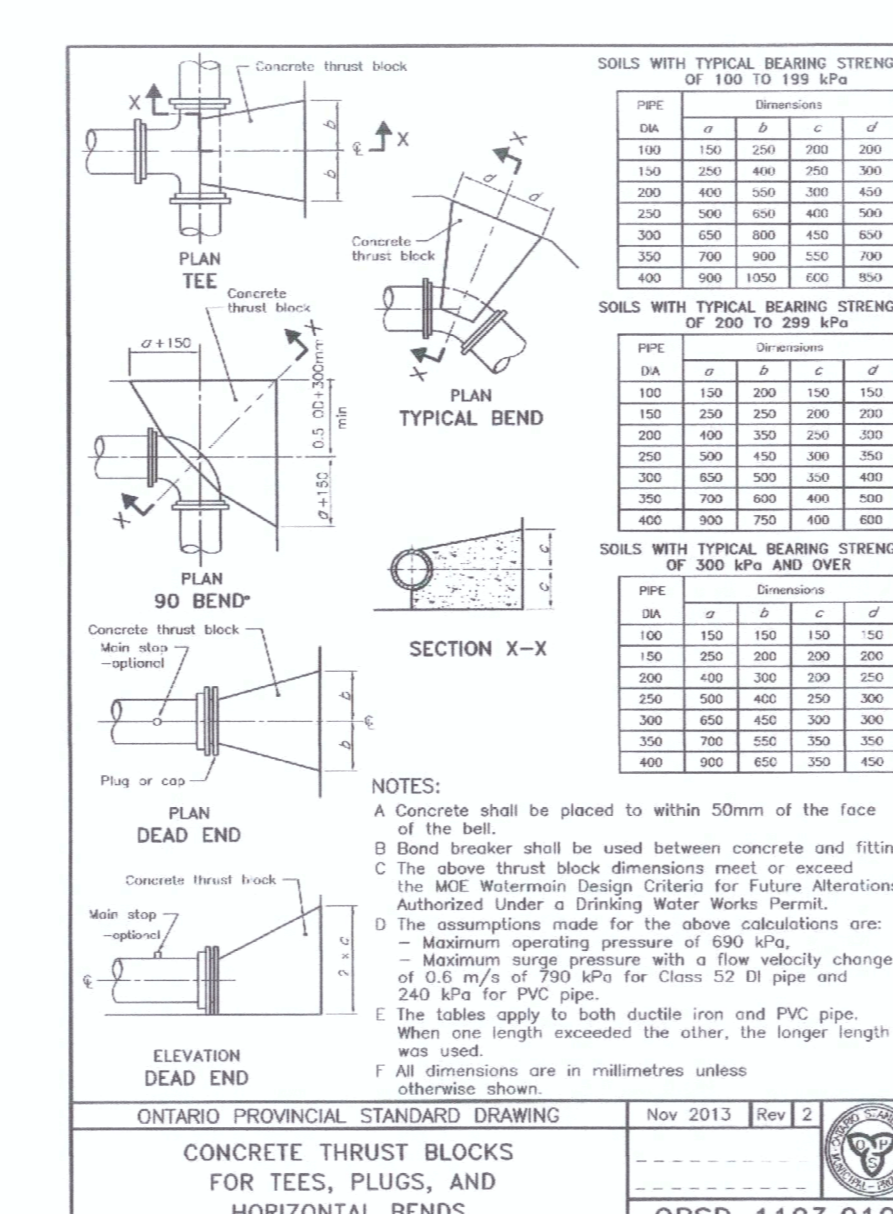
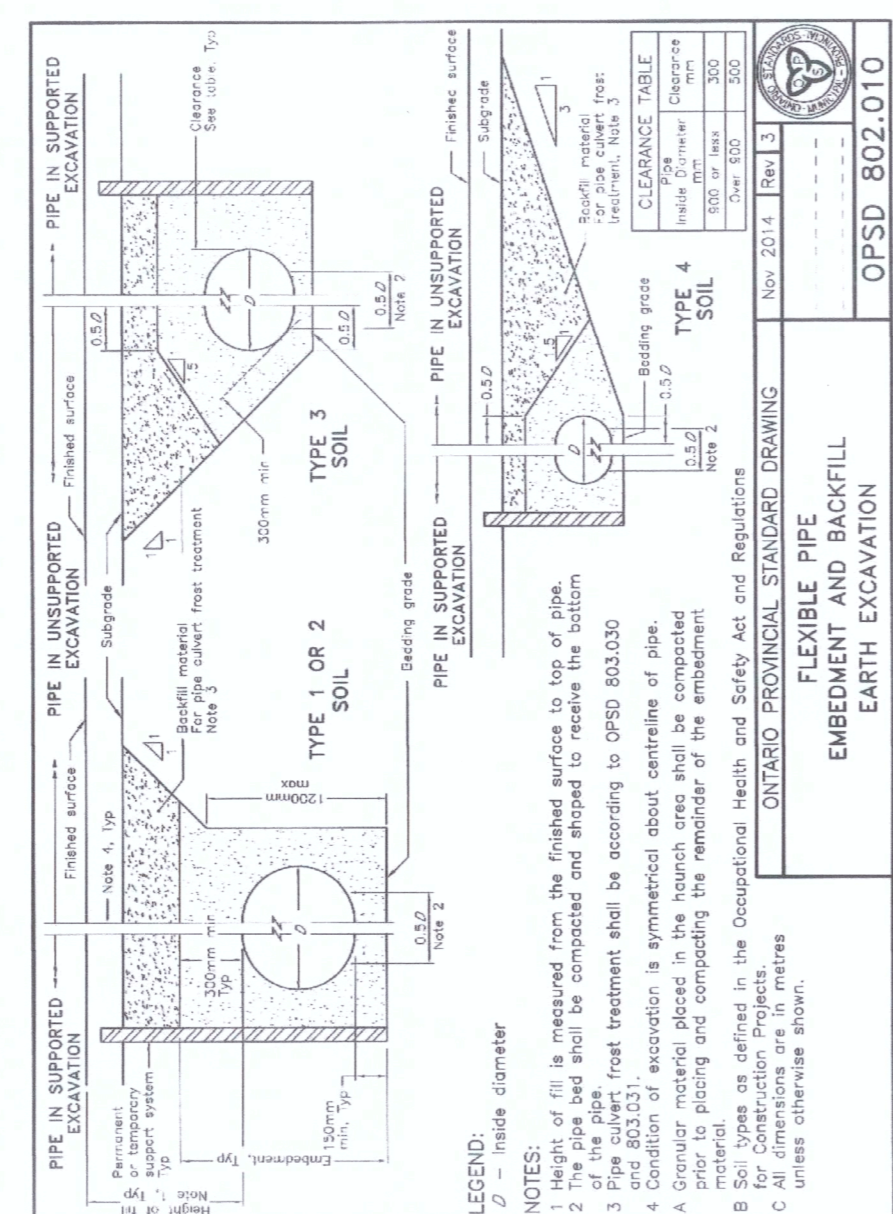
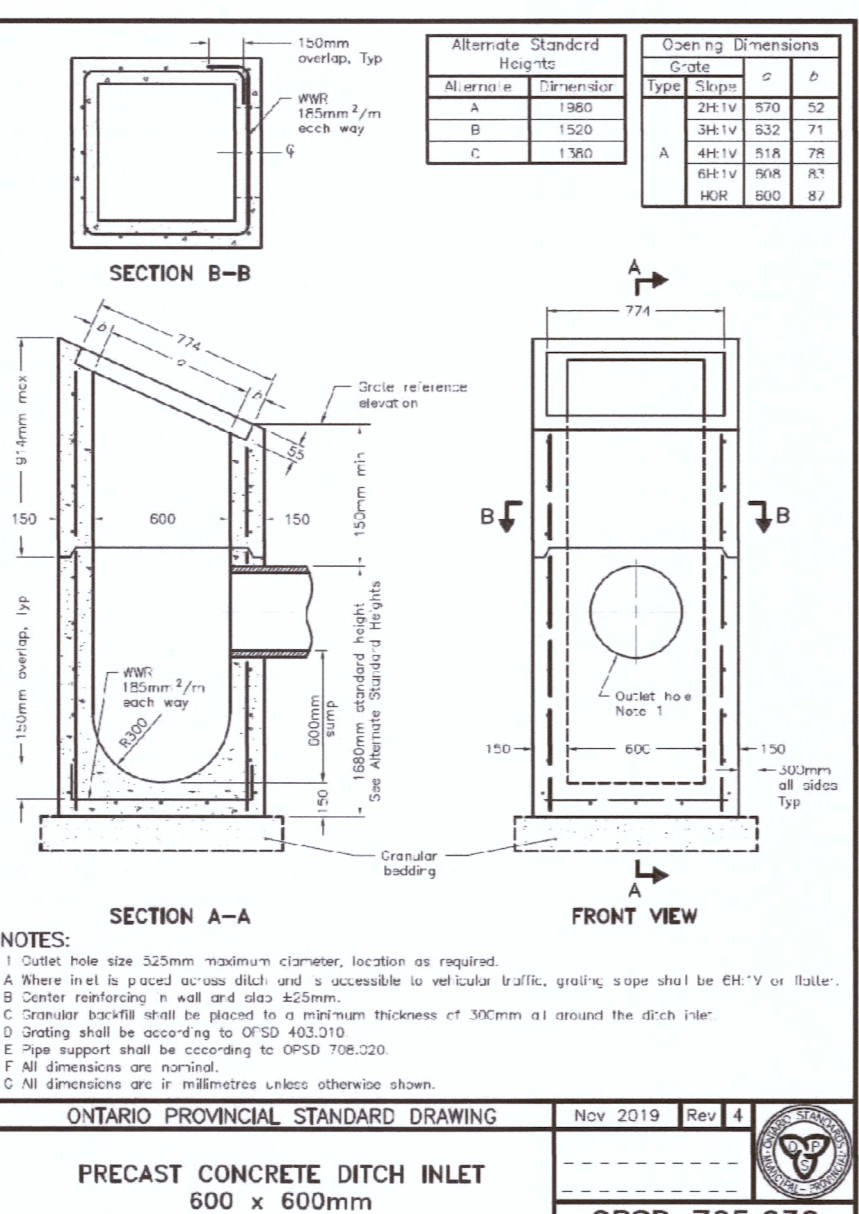
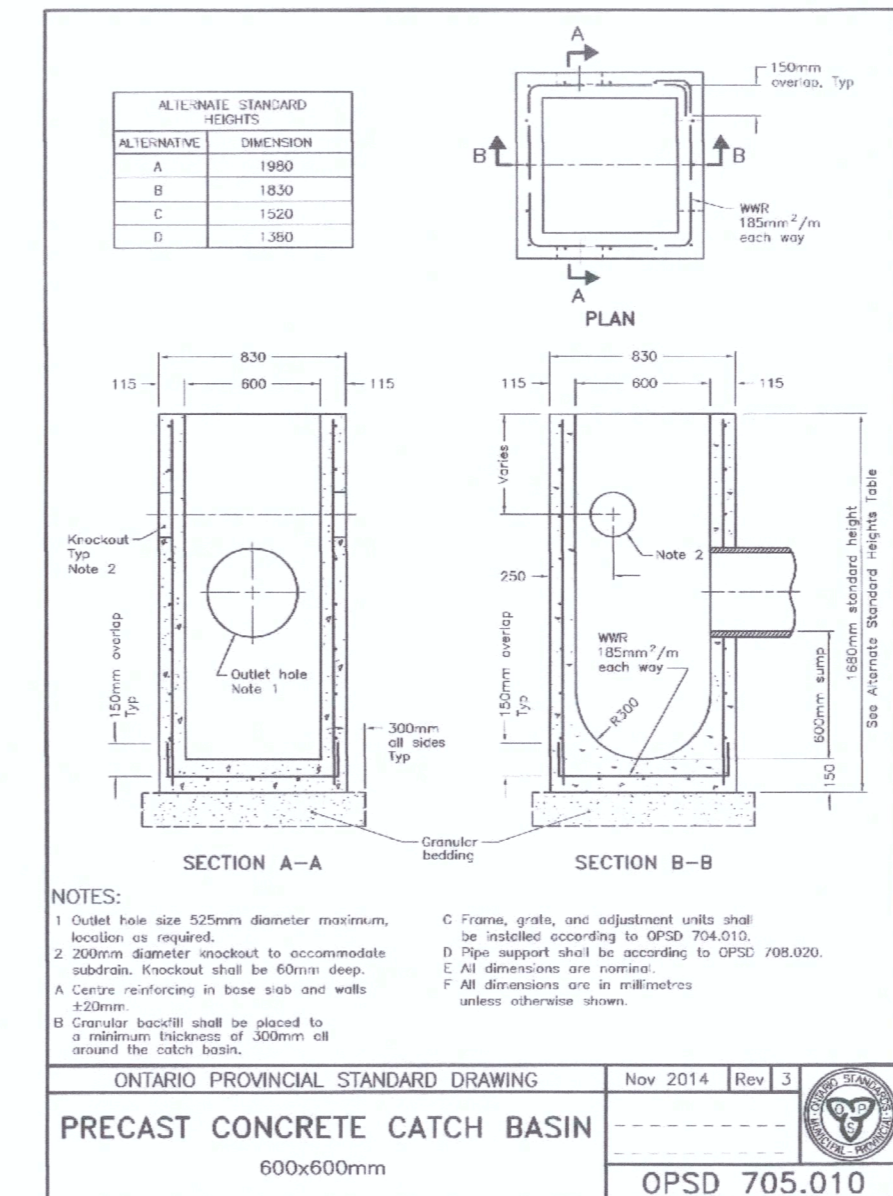
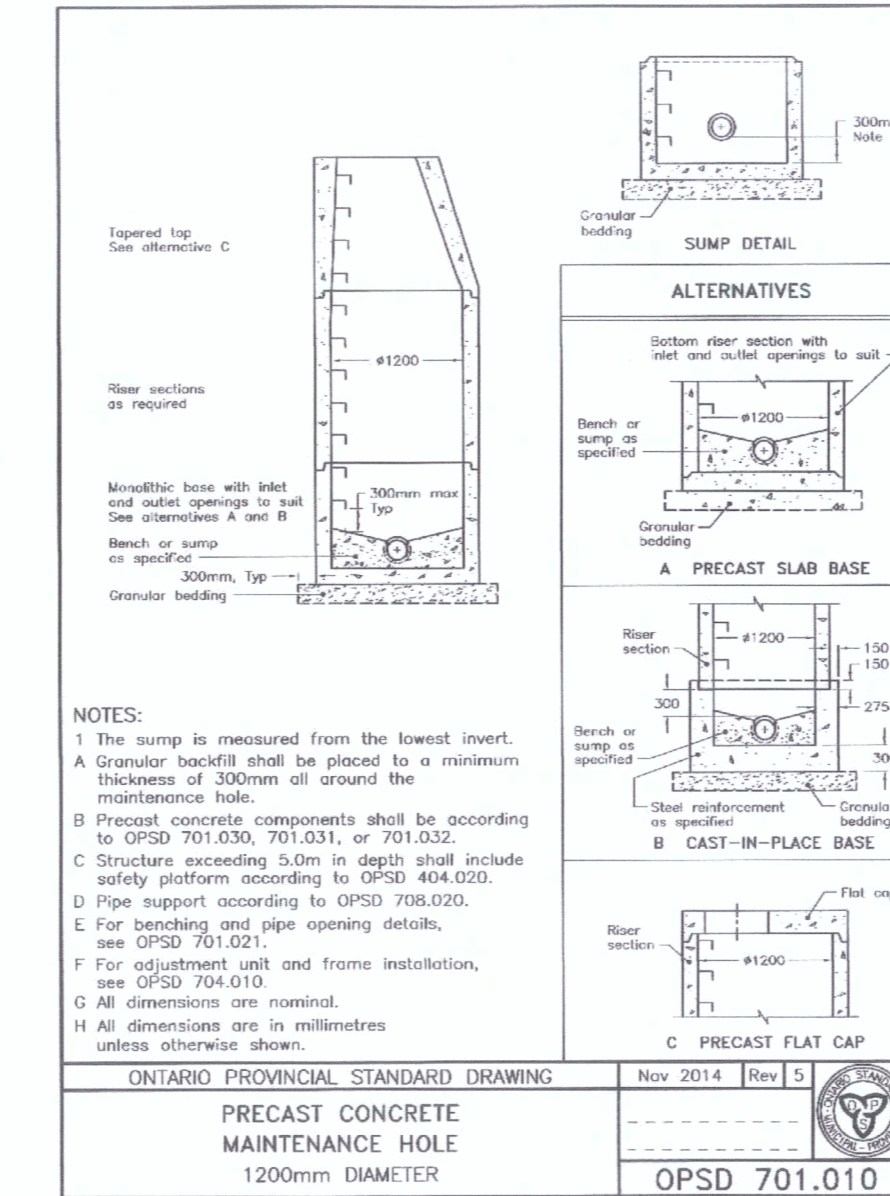
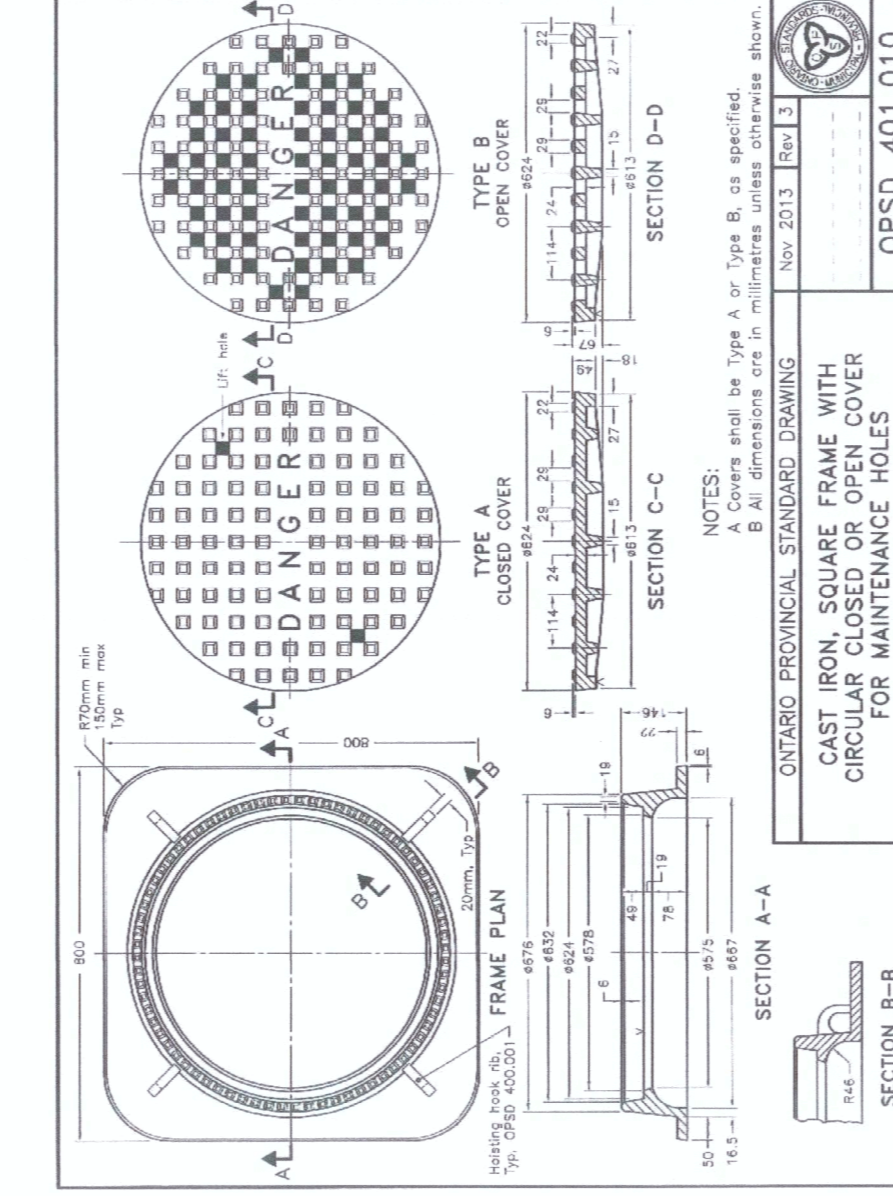
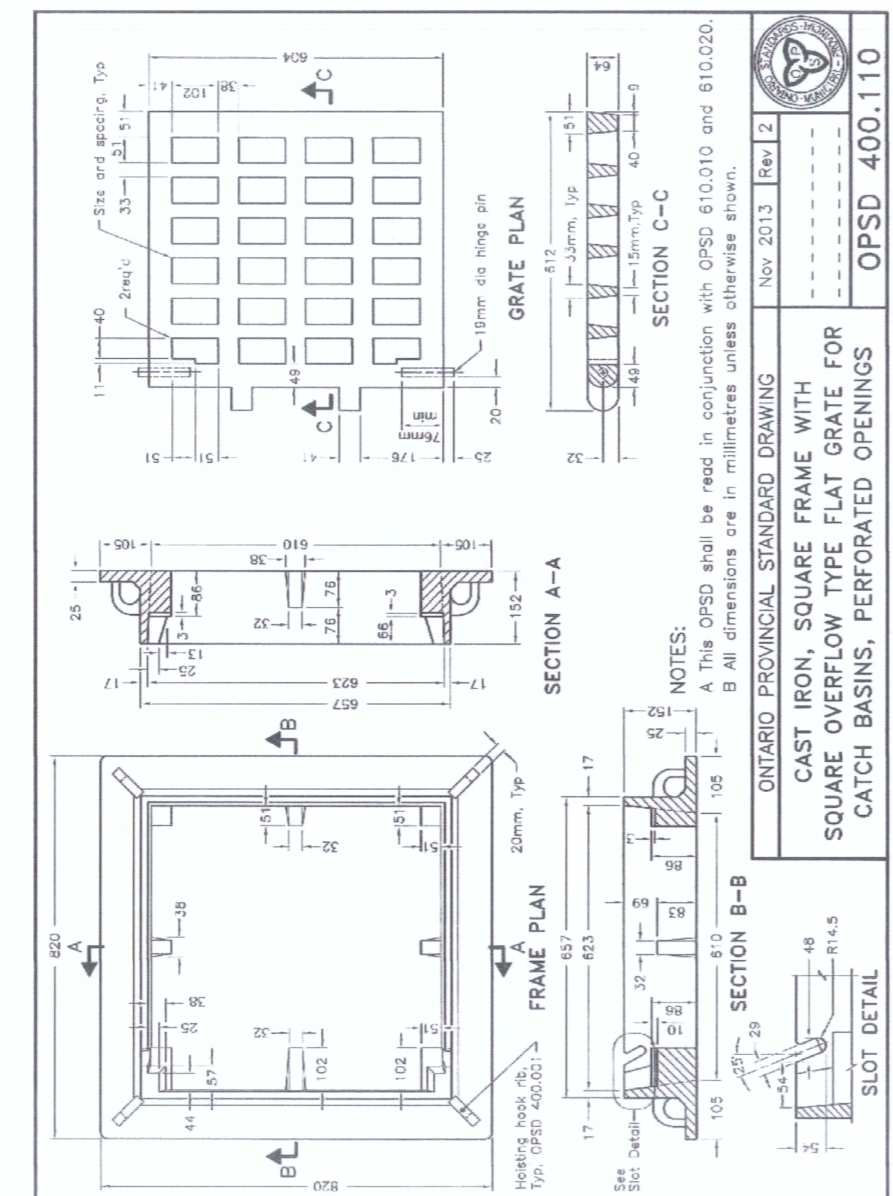
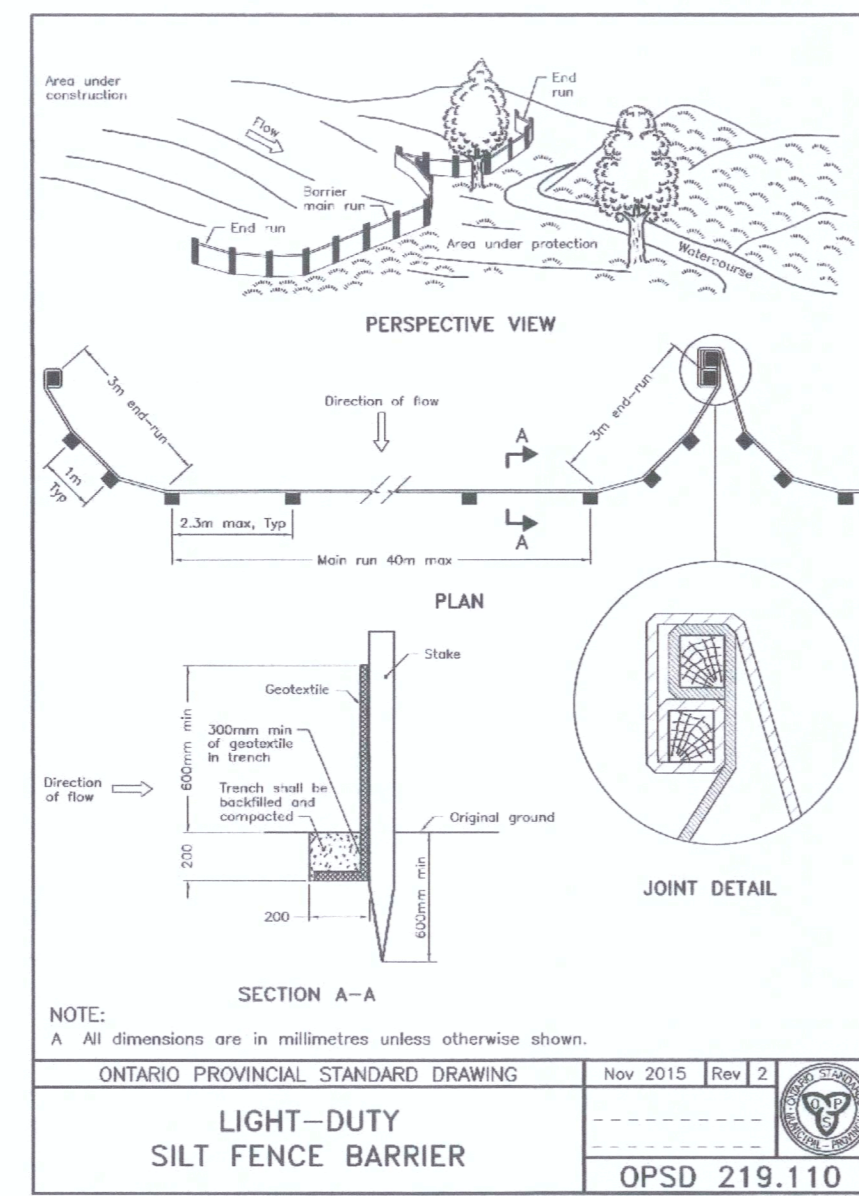
NO.	DATE	REVISION DESCRIPTION	CHKD
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BLOCK 4 DEVELOPMENT
EAST RIDGE BUSINESS PARK
ANDPET REALTY

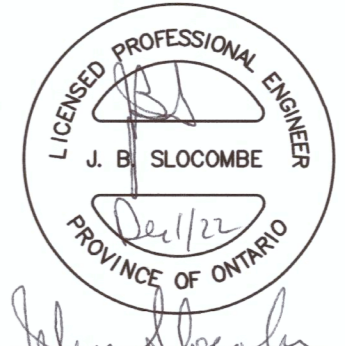
NOTES & DETAILS

DRAWN BY: E.J.T.	APPROVED BY: J.B.S.	PROJECT NO.: 221210	DRAWING NO.: 6
DESIGNED BY: E.J.T.	DATE: NOV 30, 2022	SCALE: 1:400	

FILE C:\00000221210new7.dwg LAYOUT NOTES
LAST SAVED BY Estimating 11/30/2022 11:33:57 AM
PLOTTED BY Est. Security - GJB/blueplan 11/30/2022 10:57:27 AM



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GUELPH | OWEN SOUND | LISTONVILLE | HITCHNER | LONDON | HAMILTON | GTA
1260 - 3RD AVENUE EAST, UNIT 1, OWEN SOUND, ON, N4K 2J3
TEL: 519-376-1805 www.blueplan.ca

BLOCK 4 DEVELOPMENT
EAST RIDGE BUSINESS PARK
ANDPET REALTY

NOTES & DETAILS

DRAWN BY:	APPROVED BY:	PROJECT NO.:	DRAWING NO.:
E.J.T.	J.B.S.	221210	
DESIGNED BY:	DATE:	SCALE:	
E.J.T.	NOV 30, 2022	1:400	7

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